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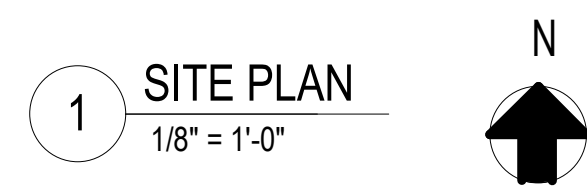
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RHD PROJECT NUMBER:		RHD-1030
DRAWN BY:	MM	DATE: 12/1/2023
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DRAWINGS & SPECIFICATIONS

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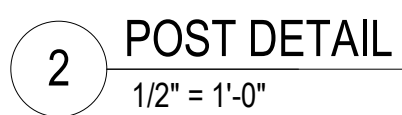
2 3D VIEW



GENERAL CONDITIONS	
DRAWINGS & SPECIFICATIONS	
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3. ASSUMED SOIL BEARING PRESSURE OF 1500 P.S.F.
4. ALL CONC. TO BEAR ON FIRM, NATURAL, UNDISTURBED SOIL.
5. CONCRETE COMPRESSIVE STRENGTH AT 28 DAYS TO BE:
 - WALLS NOT EXPOSED TO WEATHER 3500 PSI
 - WALLS EXPOSED TO WEATHER 3000PSI
6. PORCHES, STEPS & GARAGE SLAB 3500PSI
7. EXTEND FOOTING BELOW FROST LINE, (24" MIN. INTO NATURAL SOIL FOR 1 STORY AND 2 STORY CONSTRUCTION
8. THE GRADE, 18" MIN. FROM FOUNDATION WALLS TOF ALL A MIN. 6" WITHIN THE FIRST 10 FEET.
9. 1/2" DIA. "X" ANCHOR BOLTS TO BE USED @ 6'-0" C. & 7" MIN. INTO CONC. & 1/2" MAX FROM ANY CORNER W/ 2" DIA. WASHERS & 1/2" DIA. NUTS (CONC. STEM WALLS).
10. 18" MIN. CRACK W/ 6" MIN. BLACK VAPOR BARRIER THROUGHOUT LAP JOINTS 12" MIN. EXTEND UP STEEL WALL & STAPLE TO MUD SILL.
11. SUGGESTED REBAR PLACEMENT TO BE: 2-# 4 HORIZONTAL REBAR IN FOOTING AND VERTICAL REBAR @ 6'-0" C. IN ALL 2 EXTERIOR CONCRETE STEM WALLS. ACTUAL REBAR INSTALLATION TO FOLLOW LOCAL REQUIREMENTS.
12. SUGGESTED REBAR PLACEMENT TO BE: 2-# 4 HORIZONTAL REBAR IN FOOTING AND 2-# 4 HORIZONTAL REBAR IN STEM WALL EQUALLY SPACED AND VERTICAL REBAR @ 6'-0" C. IN ALL 2 EXTERIOR CONCRETE STEM WALLS. ACTUAL REBAR INSTALLATION TO FOLLOW LOCAL REQUIREMENTS.
13. BASEMENT CONCRETE WALLS TO FOLLOW LOCAL REQUIREMENTS AND OR PER APPROVED STRUCTURAL ENGINEERING DRAWINGS.
14. ALL CONCRETE PORCHES TO BE DOWELED TO EXTERIOR STEM WALL WITH #4 REBAR @ 6" O.C.
15. CONC. POURING TO BE PER ALL MEASUREMENTS AND SQUARENESS OF CORNERS PRIOR TO FLOORING AND AFTER COMPLETION OF FINAL WORK. ALL FINISHED WORK (TOP OF STEEL WALL, TOP OF FOOTINGS, SLABS, PORCHES) TO BE FINISHED AS LEVEL AS POSSIBLE.
16. ADDITIONAL #20 D22 TIE DOWN STRAP TO ALL GARAGE WING WALLS AND ANY FOUNDATION WALL LESS THAN 2' LONG, IF REQUIRED PER LOCAL BUILDING DEPARTMENT.

- ① CONTINUOUS FOUNDATION WALL BLOCK OUT AS REQUIRED.
- ② CRAWL SPACE ACCESS.
- ③ 4" CONCRETE SLAB ON 4" COMPACT GRAVEL BASE W/6" THICKENED SLAB EDGE TO FROSTLINE W/4" x 18" BAR @ 24" O.C.
- ④ ALL FOUNDATIONS, FOOTINGS, AND BALCONY/ROOF SUPPORT PIERS TO MAINTAIN A MINIMUM DEPTH OF 24" BELOW FINISH GRADE ELEVATION FOR FROST PROTECTION.
- ⑤ ANCHOR BOLTS PER R403.1.6 AS REQUIRED PER PORTAL FRAMING AT GARAGE DOORS
- ⑥ CONC. STOOP.
- ⑦ SIMPSON POST BASE OR EQUAL.
- ⑧ 24"x24" MIN. DEEP CONC. SUPPORT PIER@CONC. SLAB.
- ⑨ BLOCK OUT PONY WALL FOR 18"x24" CRAWL ACCESS



**THE MCCALL
LOT 6 BLOCK 1 MELBA ESTATES SUB.
209 RIMVIEW DR. MELBA, ID 83641
FOUNDATION PLAN**

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SHEET TITLE
FOUNDATION
PLAN

RHD PROJECT NUMBER:		RHD-1030	
DRAWN BY: MM		DATE: 5/17/2023	
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FLOOR PLAN NOTES

- ALL STRUCTURAL LUMBER SIZED FOR #2 OR BETTER DOUG FIR LARCH.
- 2x EXTERIOR STUD FRAMING @ 16" O.C. W/ SINGLE BOTTOM PLATE AND DOUBLE TOP PLATE.
- 4x8 HEADERS IN ALL BEARING WALL OPENING UNLESS OTHERWISE NOTED.
- ALLOW FOR A 22" x 30" (MIN) ATTIC AND CRAWL SPACE ACCESS.
- ALL METAL CONNECTIONS TO BE SIMPSON CO. OR BETTER.
- 5/8" TYPE 'X' GYP BOARD @ ALL GARAGE COMMON WALLS AND CEILINGS APPLIED TO GARAGE SIDE AND ALL WALLS, BEAMS, POSTS AND OTHER STRUCTURAL MEMBERS SUPPORTING FIRE PROTECTED HORIZONTAL STRUCTURAL MEMBERS.
- DOORS BETWEEN GARAGE AND DWELLING ARE TO BE SELF CLOSING AND TIGHT FITTING SOLID WOOD DOOR 1 3/8" THICK OR A DOOR W/ A FIRE PROTECTION RATING OF NOT LESS THAN 20 MINUTES.
- 1/2" GYPSUM BOARD TO BE INSTALLED ON INSIDE WALLS OF HOUSE.
- ALL WINDOWS TO HAVE BREATHER TUBES INSTALLED.
- ROOF SYSTEM TO BE PRE-ENGINEERED MANUFACTURED ROOF TRUSSES UNLESS OTHERWISE NOTED.
- ALL CONSTRUCTION PRACTICES USED IN THE CONSTRUCTION OF THIS DWELLING SHALL BE DONE IN ACCORDANCE W/ THE 2018 WHERE APPLICABLE.
- VENT RANGE HOOD, FANS, AND DRYER TO OUTSIDE AIR. CONTRACTOR TO VERIFY ALL CONDITIONS AND DIMENSIONS PRIOR TO COMMENCING WORK.
- ALL RESCUE WINDOWS FROM SLEEPING AREAS MUST MEET THE FOLLING REQUIREMENTS:
 - SHALL HAVE A NET CLEAR OPENING OF 5.1 SQ. FT.
 - MINIMUM HEIGHT OF 24".
 - MINIMUM WIDTH OF 20".
 - FINISHED SILL HEIGHT OF NOT MORE THAN 44".
- EXTERIOR DIMENSIONS ARE TO FACE OF STUD WALL. INTERIOR DIMENSIONS ARE TO FACE OF STUD WALL.
- ALL FURNACE SWITCHES, PILOTS, AND BURNERS TO BE MINIMUM 18" ABOVE FINISHED FLOOR.

SHEET NOTES

- CRAWL SPACE ACCESS. COORDINATE WITH JOIST LAYOUT.
- ATTIC SPACE ACCESS. COORDINATE WITH TRUSS LAYOUT.



THE MCCALL
LOT 6 BLOCK 1 MELBA ESTATES SUB.
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1st FLOOR PLAN

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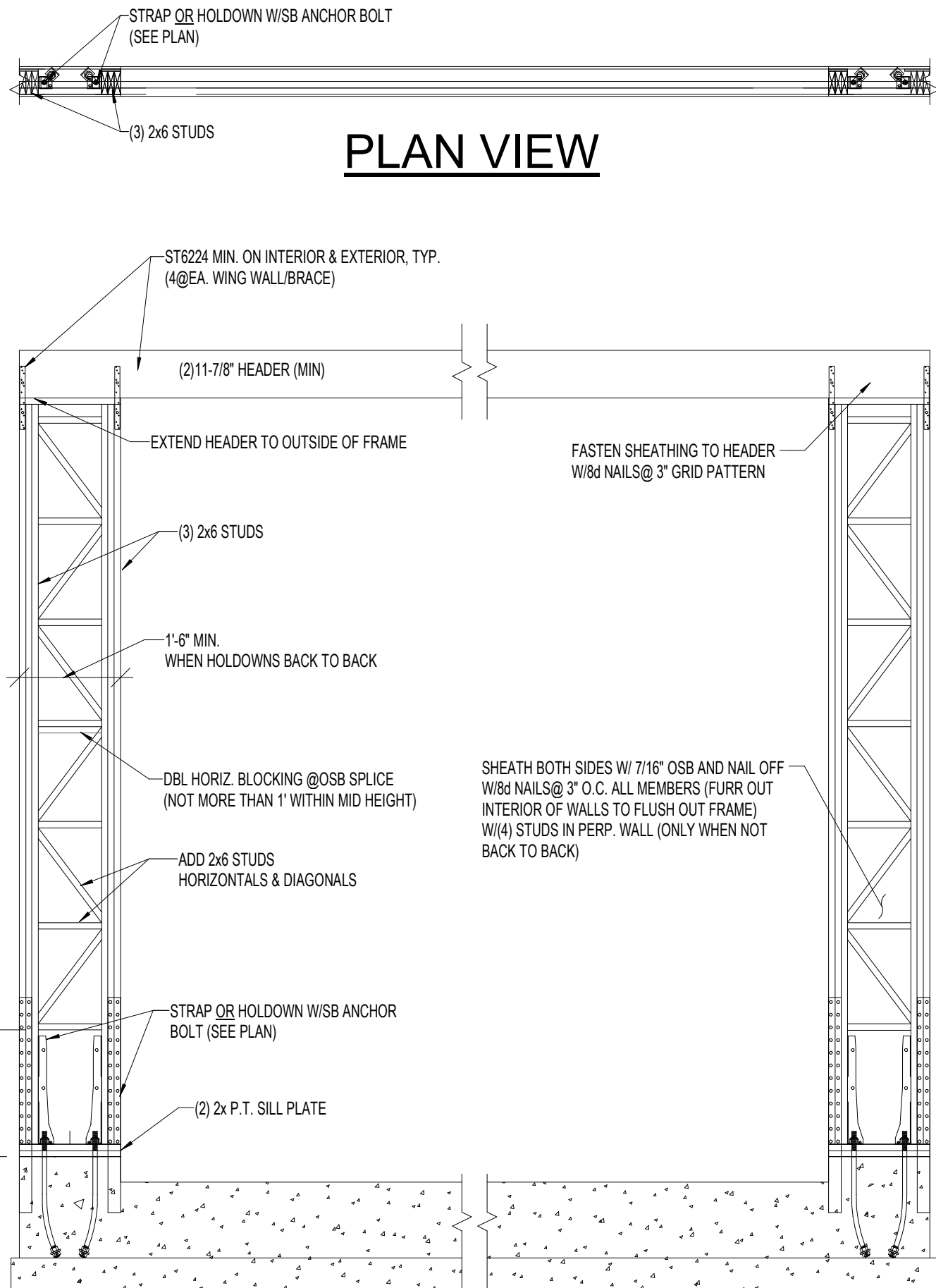
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SHEET TITLE

1st FLOOR
PLAN

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PLAN VIEW



ENGINEERED BRACE FRAME

3/8" = 1'-0"

OSB SHEAR WALL SCHEDULE:						
MARK	SHEATING	SIDES OF WALL	SHEET NAILING PERIMETER/FIELD	SHEET STAPLING PERIMETER/FIELD	BLGK	NAILING(UNO) BOTTOM PLATE INTO RIM
HD1	7/16" APA RATED	1	8d @ 6/12	OR 16ga x 1-1/2" @ 3/12	YES	(2) 16d NAILS PER 16" BAY
GYP. SHEAR WALL SCHEDULE:						
HD2	1/2" GYP. BOARD	2	5d COOLER @ 6/6		NO	(2) 16d NAILS PER 16" BAY

- TYP. NOTES:
- ALL SHEATHING PANEL EDGES SHALL BE BLOCKED UNO
 - PROVIDE SAME NAILING PATTERN ABOVE AND BELOW OPENINGS AS ADJACENT SHEAR PANEL.
 - ALL EXTERIOR WALLS SHALL BE SHEARWALL "SW1" WITHOUT BLKG UNO.
 - FASTEN GABLE/RIM TO SHEAR WALLS BELOW W/10d TOENAILS @ 12" O.C. UNO.
 - FASTEN TRUSS HEELS TO SHEAR WALLS W/H2.5A AND (2) 10d TOENAILS @ EACH.
 - GYP BOARD SHEAR WALLS MAY BE SUBSTITUTED WITH AN "SW1" SHEAR WALL @ CONTRACTOR'S OPTION.
 - WALL SHEATHING CAN BE APPLIED TO EITHER SIDE OF THE WALL. (UNLESS NOTED OTHERWISE)

HOLDOWN SCHEDULE :						
MARK	STRAP TYPE	STRAP FASTENERS	# OF STUDS	ANCHOR BOLT	# OF STUDS	FASTENERS
HD1	LSTDH8 OR LSTDH8RJ W/RIM	(20) 16d SINKERS	2	OR DTT22Z W/1/20 x10"	2	(8) 1/4" x 1-1/2" SDS
HD3	LSTDH14 OR LSTDH14RJ W/RIM	(30) 16d SINKERS	2	OR HDU5 - SDS2.5 W/ SB5/ 8x24 OR PAB5 @ INT. PONY WALLS	2	(14) 1/4" x 2-1/2" SDS

GABLE / DRAG TRUSS OR RIM KEY NOTES:		
T1	-	ATTACH GABLE / DRAG TRUSS OR RIM TO TOP PLATE W/ 10d TOENAILS@ 6" O.C., EDGE NAIL SHEATHING ABOVE TO TRUSS OR RIM
BLOCKING KEY NOTES:		
MARK		DESCRIPTION
B1	-	FULL HEIGHT BLOCKING BETWEEN EVERY OTHER TRUSS BAYS W/ (6)10d TOENAILS FROM BLOCKING TO TOP PLATE, NAIL ROOF SHEATHING TO BLOCKING 3" O.C.
TYP. NOTES:		
1 FASTEN GABLE/RIM TO SHEAR WALLS BELOW W/10d TOENAILS @12" O.C. UNO 2 FASTEN TRUSS HEELS TO SHEAR WALLS W/H2.5A AND (2) 10d TOENAILS @ EACH		

SQ./FT.

1ST FLOOR	1406 SF
GARAGE	423 SF
PORCH	117 SF
PATIO	144 SF
RV BAY	300 SF

DOOR/WINDOW TAG EXAMPLE

DOOR TAG	WINDOW TAG
26	40/56 SH = 4'-0" x 5'-6" SINGLE HUNG

BRACING DETAILS

METHOD	MATERIAL	CONNECTION CRITERIA
WSP	WOOD STRUCTURAL PANEL (SEE SECTION R604)	EXTERIOR SHEATHING: SEE IRC TABLE R602(3) INTERIOR SHEATHING: SEE IRC TABLE R602(1)
PFH	INTERMITTENT PORTAL FRAME	SEE SECTION R602.10.3.3

NOTE: VERIFY ALL WINDOW/DOOR ROUGH OPENING AND HEADER HEIGHT AND THE SAME FOR TRIM PACKAGE. VERIFY STANDARD HEIGHTS WITH CONTRACTOR BEFORE FRAMING.

SEE 2018 IRC

- R302.7 PROVIDE UNDERSTAIR PROTECTION AS REQUIRED
R302.11 PROVIDE FIREBLOCKING AS REQUIRED
R303.7 PROVIDE SWITCHING AND ILLUMINATION AS REQUIRED
R305 PROVIDE SUFFICIENT CEILING HEIGHTS
R311.7 MEET STAIRWAY REQUIREMENTS
R312 MEET GUARD REQUIREMENTS

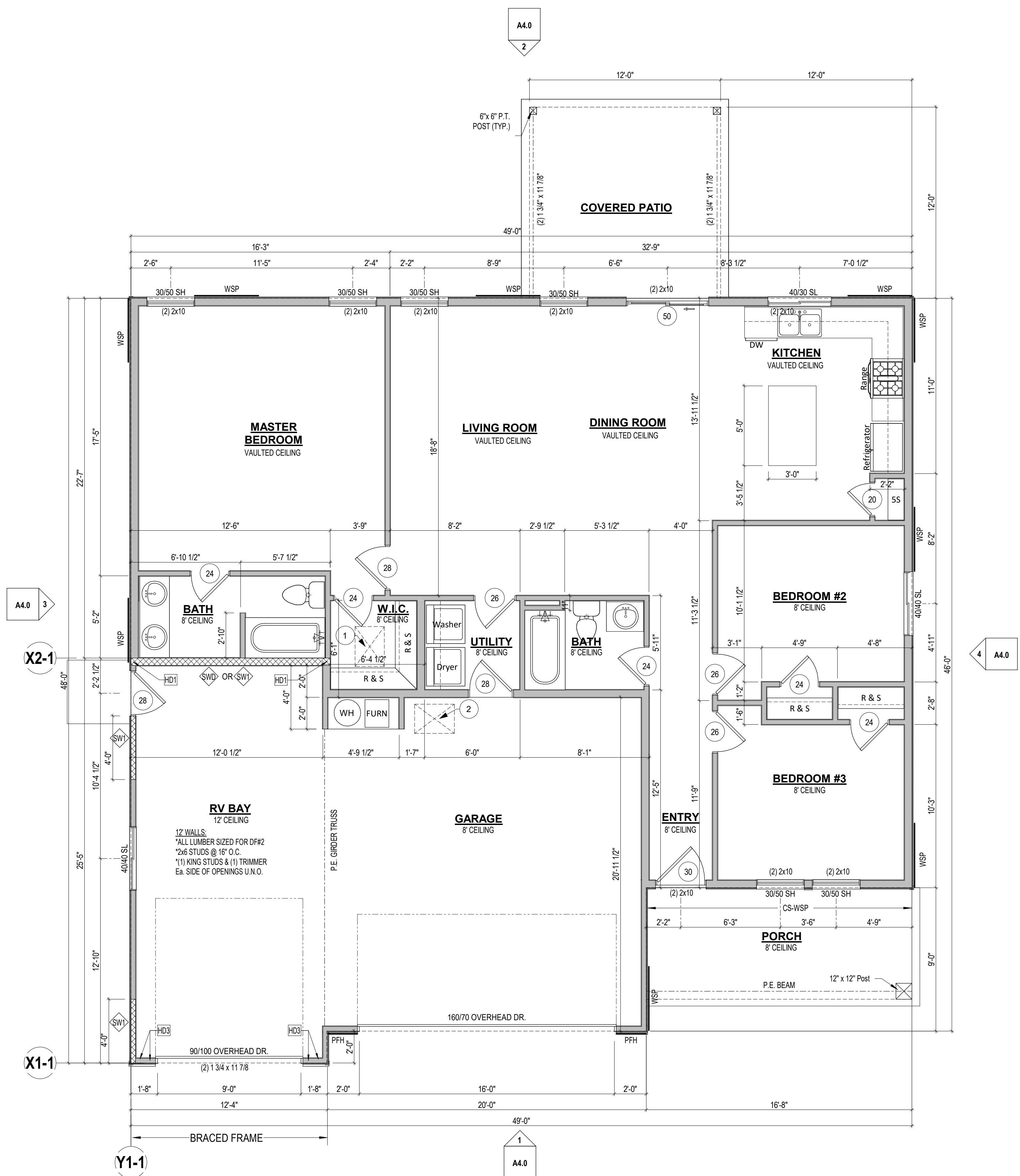
GENERAL CONDITIONS

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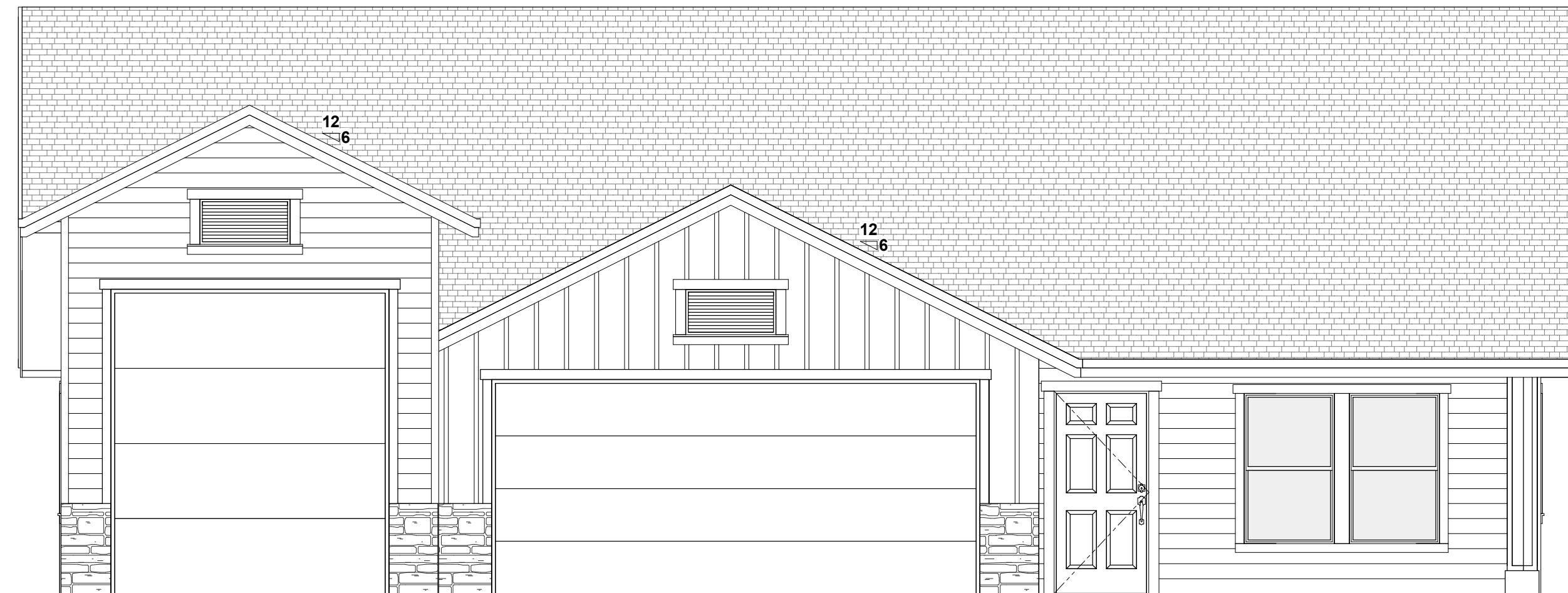
TABLE R402.1.1 INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT										
CLIMATE ZONE	FENESTRATION U-FACTOR	SKYLIGHT U-FACTOR	GLAZED FENESTRATION SHGC	CEILING R-VALUE	WOOD FRAM WALL R-VALUE	MASS WALL R-VALUE	FLOOR R-VALUE	BASEMENT WALL R-VALUE	SLAB R-VALUE	CRAWLSPACE WALL R-VALUE
5 AND MARINE 4	0.35	0.60	NR	38	20 OR 13+ ^h	13/17	30 ^g	10/13	10, 2 ft	10/13

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1 1st FLOOR PLAN
1/4" = 1'-0"

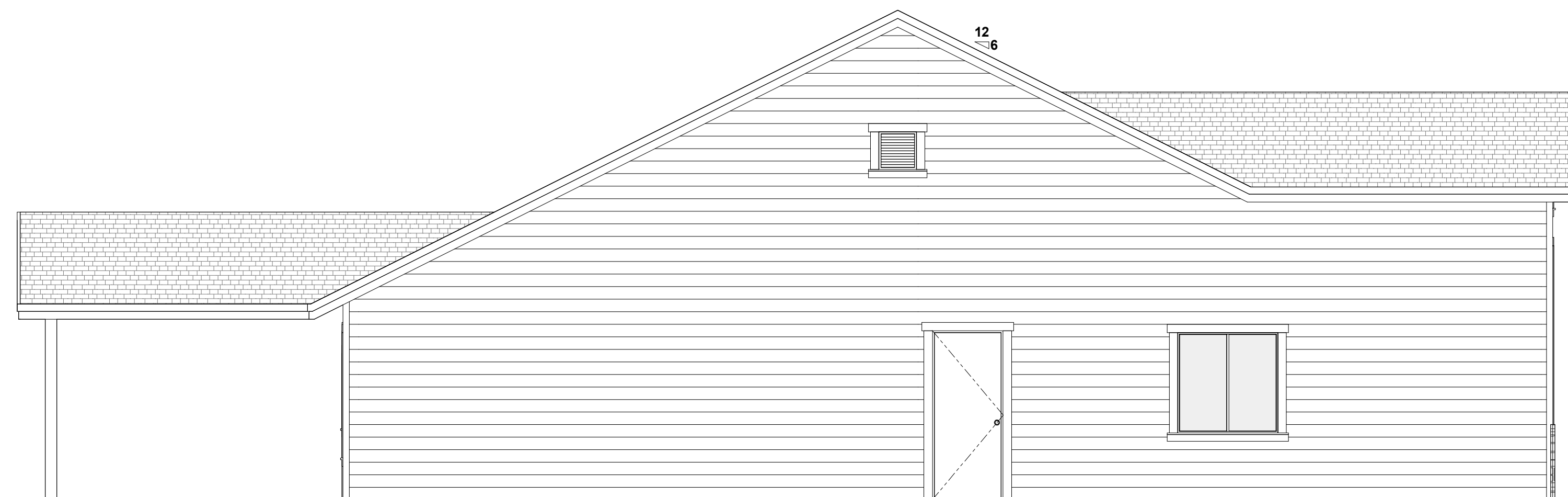
R806 - PROVIDE ADEQUATE ATTIC VENTILATION



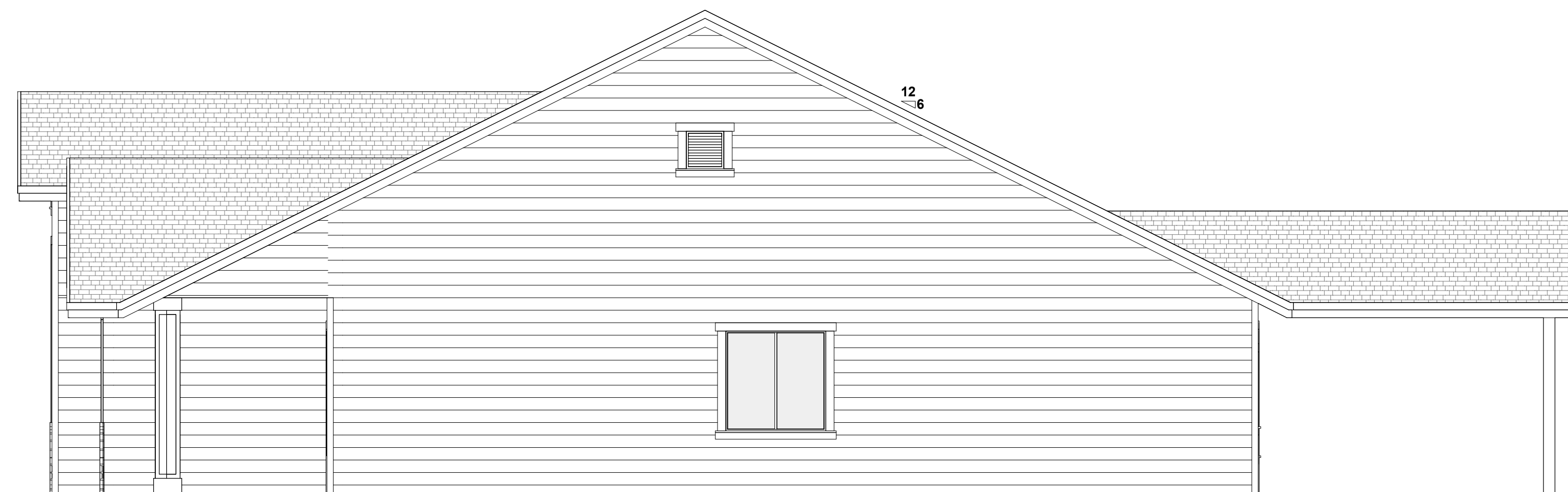
1 FRONT VIEW
1/4" = 1'-0"



2 BACK VIEW
1/4" = 1'-0"



3 LEFT VIEW
1/4" = 1'-0"



4 RIGHT VIEW
1/4" = 1'-0"

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THE MCCALL
LOT 6 BLOCK 1 MELBA ESTATES SUB.
209 RIMVIEW DR. MELBA, ID 83641
ELEVATIONS

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ELEVATIONS

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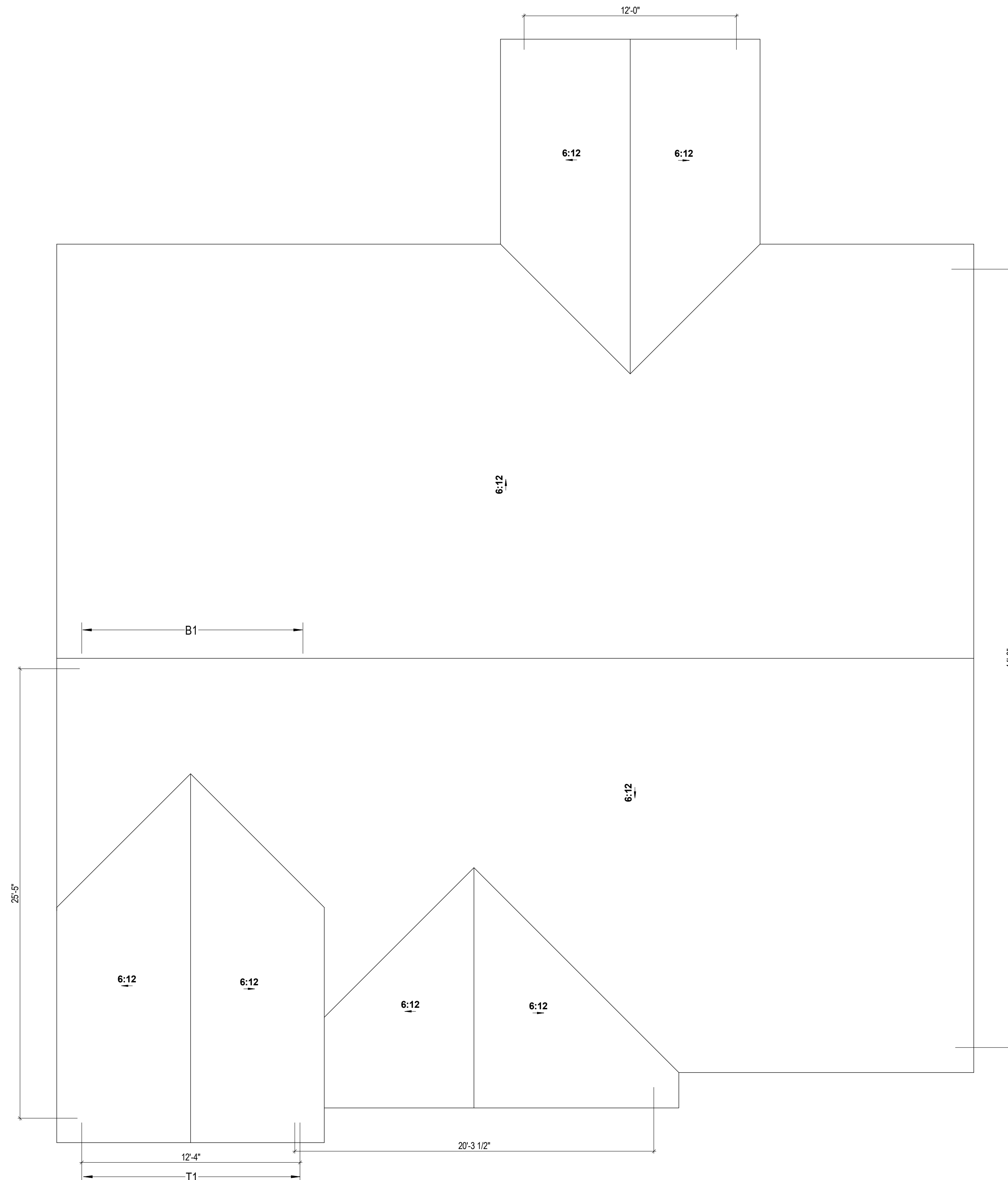
ROOF NOTES

1. TRUSS LAYOUT AND DESIGN TO BE SPECIFIED BY LOCAL TRUSS COMPANY. BUILDING CONTRACTOR TO VERIFY ALL TRUSS LAYOUTS WITH TRUSS COMPANY BEFORE ORDERING. ALL TRUSS PROBLEMS TO BE ADDRESSED BY CONTRACTOR AND TRUSS COMPANY.
2. ALL ROOF AND SOFT VOIENTS TO BE INSTALLED ACCORDING TO U.B.C. AND APPLICABLE LOCAL CODES.
3. ALL TOTAL SPANS MAY VARY DEPENDING ON GIRDER TRUSS PLACEMENT. (IF NEEDED)
4. ALL WINDOW HEADERS, GARAGE DOOR HEADER AND MICRO-LAM BEAMS UNDER ROOF LOAD TO BE SPECIFIED BY LOCAL TRUSS COMPANY.
5. TRUSS COMPANY TO CONFIRM DESIGN ROOF SNOW LOAD SHOWN WITH COUNTY REQUIREMENTS OF THIS HOUSE LOCATION.

DESIGN CRITERIA

LOCATION: (CITY) MELBA (COUNTY) CANYON

- DESIGN ROOF SNOW LOAD: 25PSF
- DESIGN WIND SPEED: 115MPH
- DESIGN WIND EXPOSURE TYPE: C
- DESIGN EARTH QUAKE ZONE: D2
- FROST DEPTH: 24"



1 ROOF PLAN
1/4" = 1'-0"

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GENERAL CONDITIONS



RISEN
Home Design

390 E. CORPORATE WAY, STE 112
MILWAUKEE, WI 53212
TEL: 414-988-1375

THE MCCALL
LOT 6 BLOCK 1 MELBA ESTATES SUB.
209 RIMVIEW DR. MELBA, ID 83641
ROOF PLAN

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ROOF PLAN

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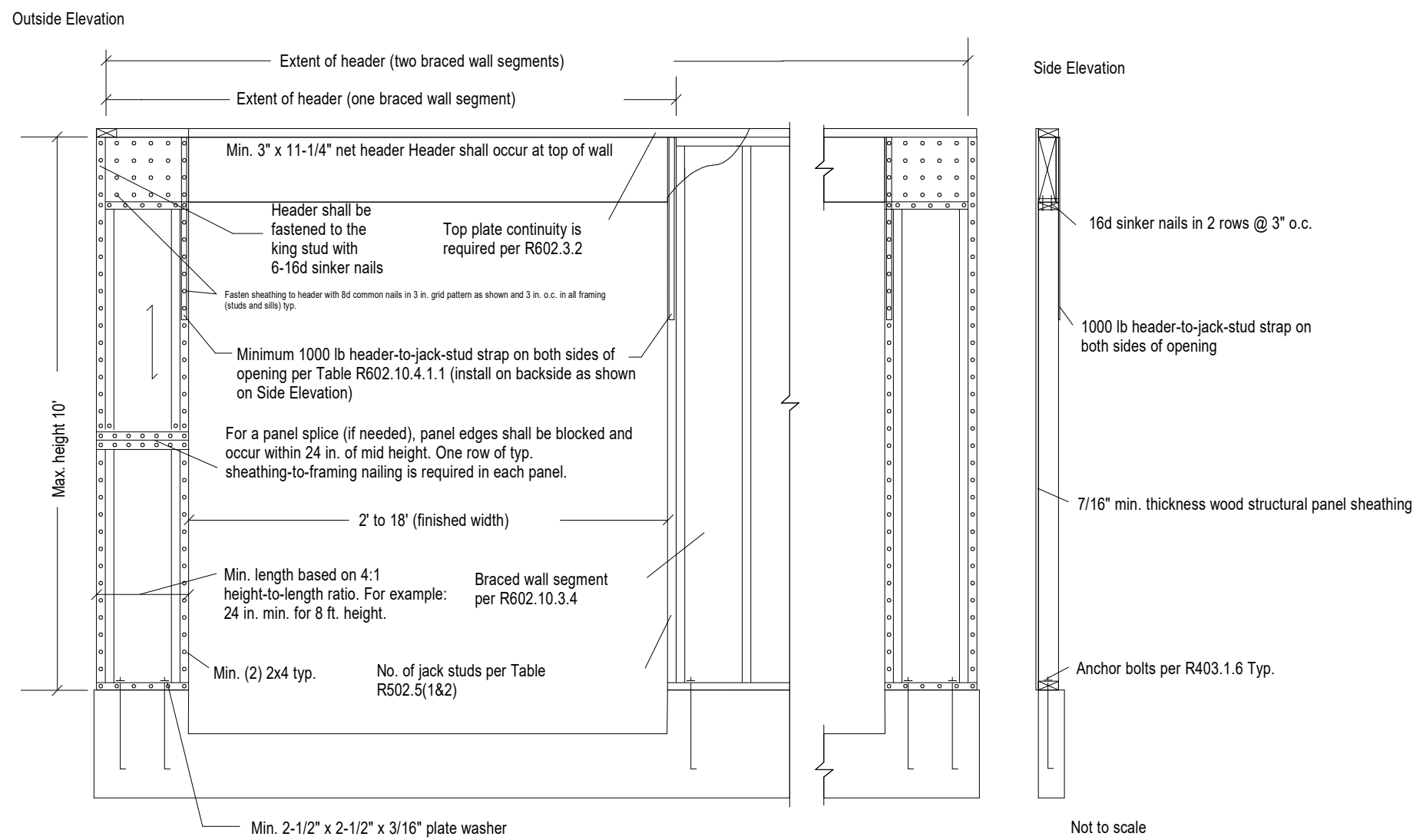
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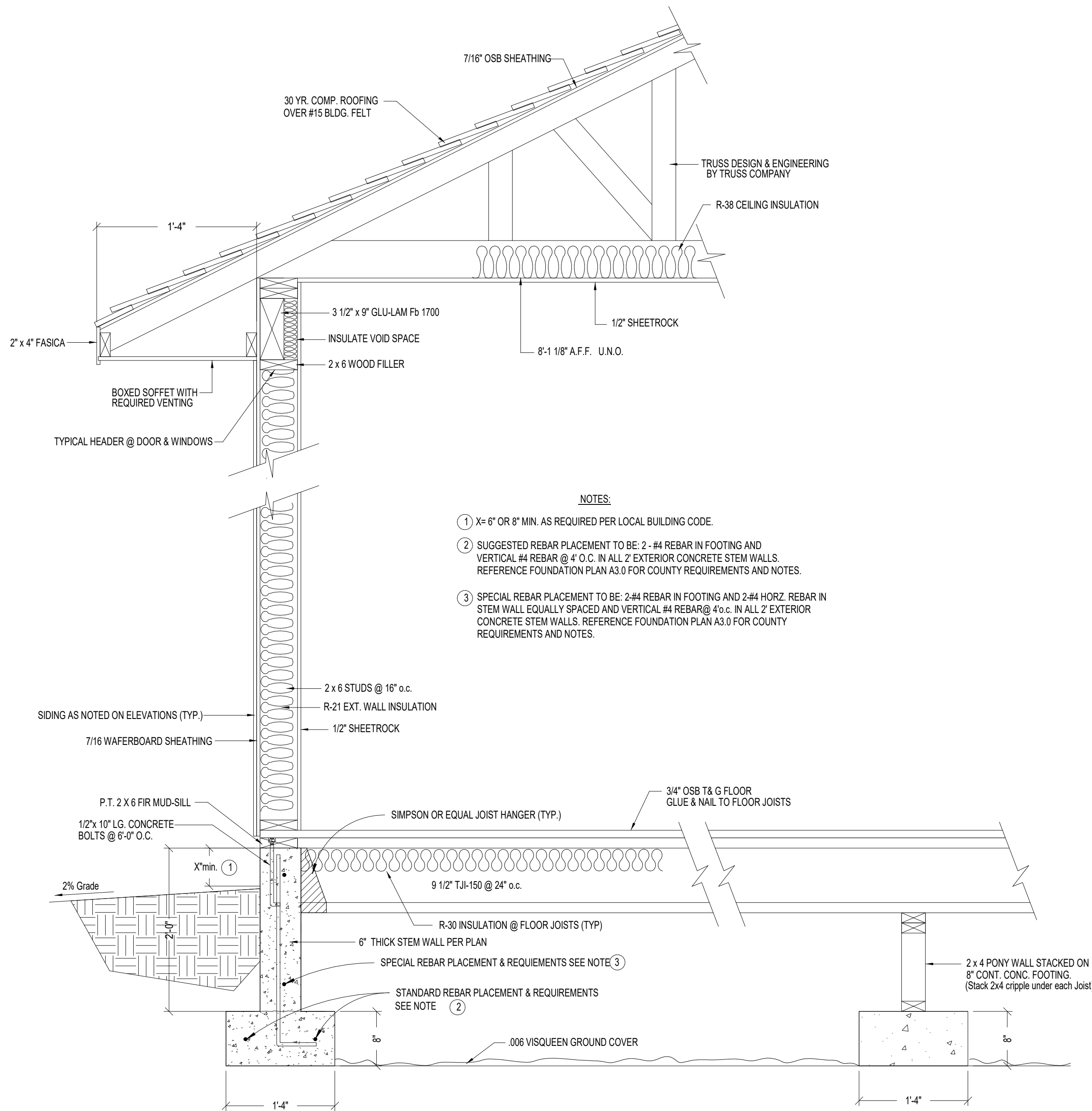
<div style="text-align: center;"> <h1>SHEET TITLE</h1> <h2>ELECTRICAL PLAN</h2> </div>	
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DRAWINGS & SPECIFICATIONS

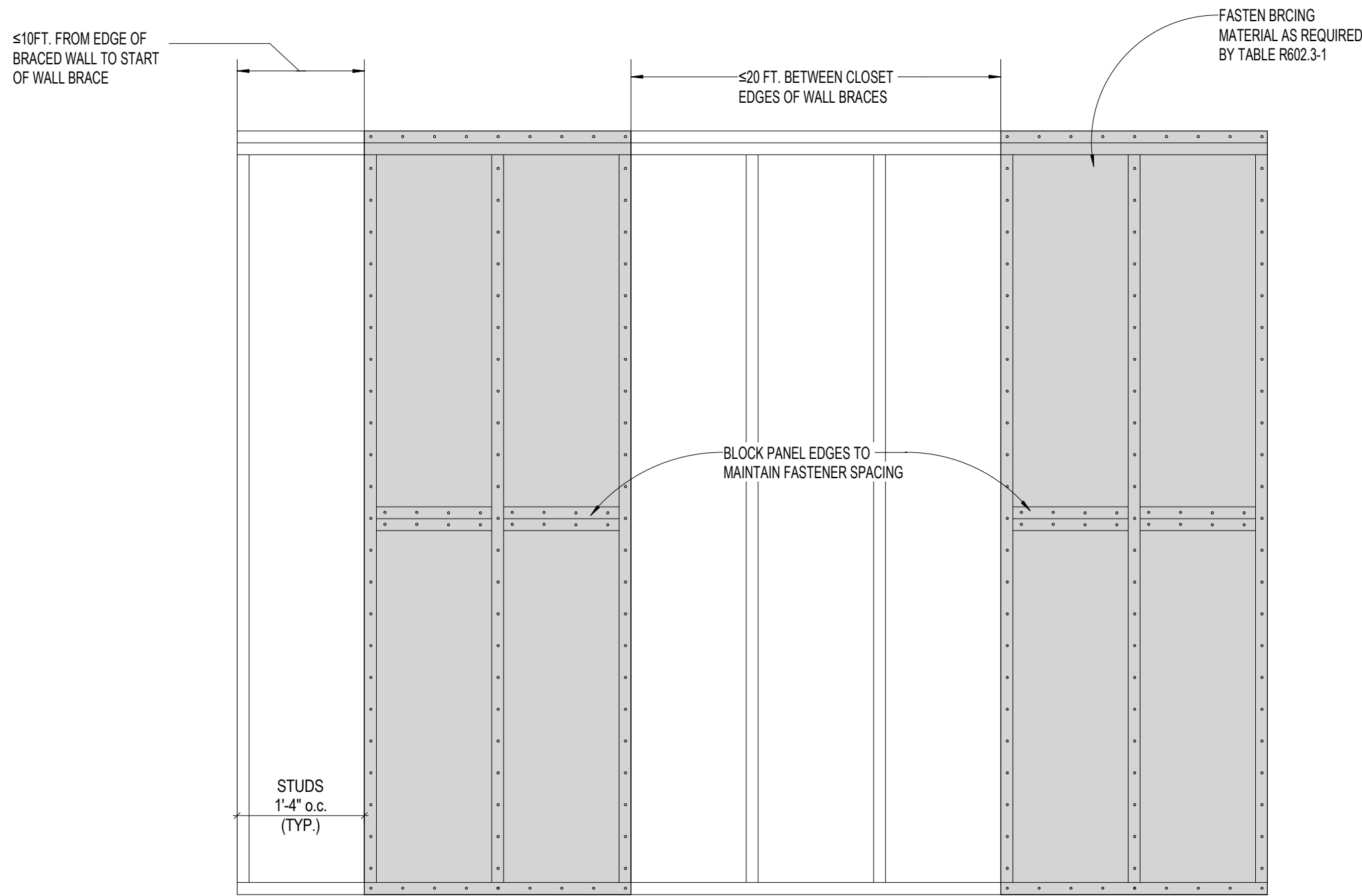
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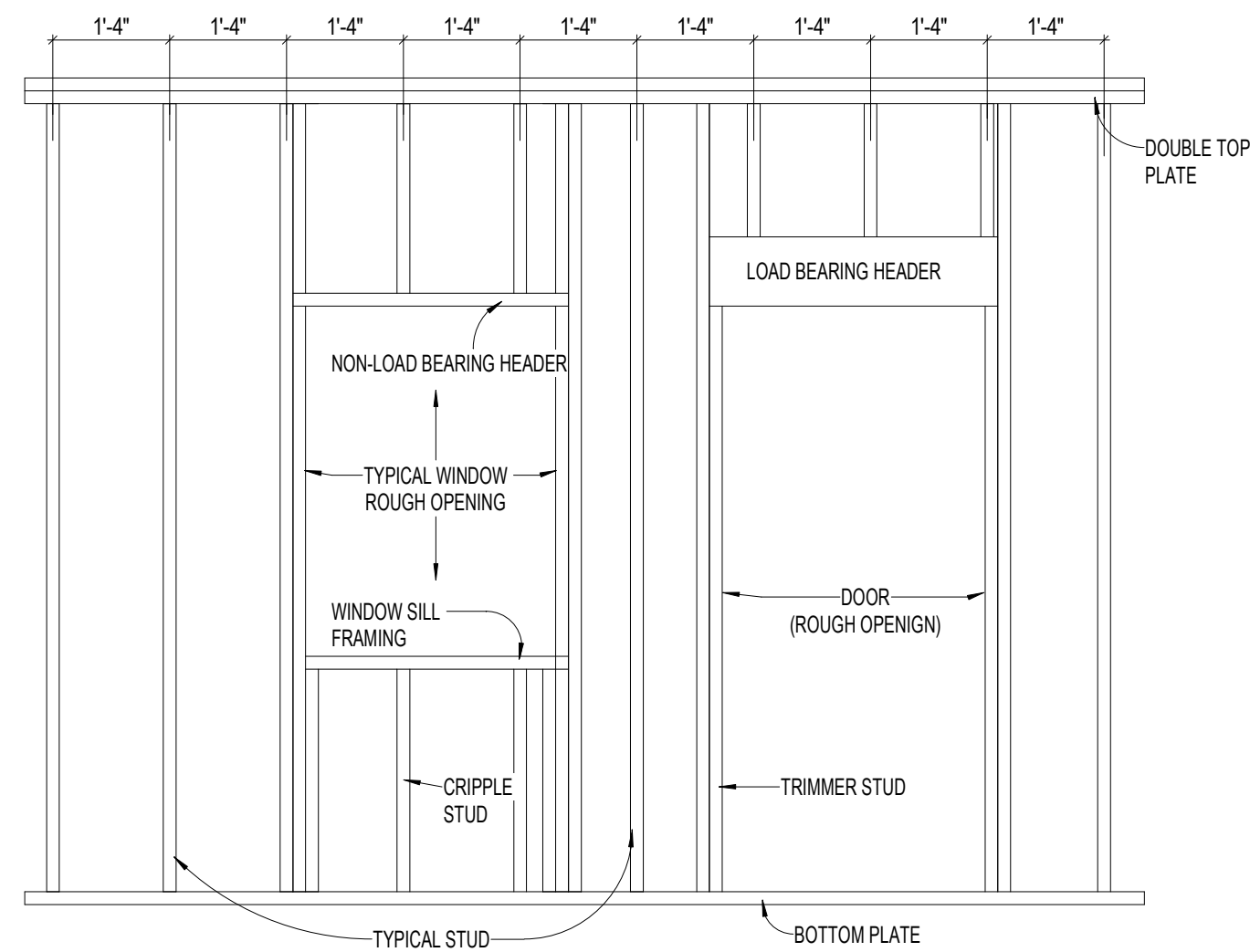
1 ABW DETAIL
1/2" = 1'-0"



2 WALL SECTION
1" = 1'-0"



3 WSP DETAIL
3/4" = 1'-0"



4 FRAMING DETAIL
1/2" = 1'-0"

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DETAILS

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