
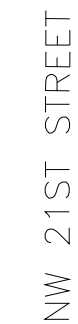


1. CONTRACTOR SHALL VERIFY EXISTING CONDITIONS AND EXISTING UTILITY LOCATIONS PRIOR TO EXCAVATION.
2. CONTRACTOR TO PROTECT ALL EXISTING UTILITIES, PUBLIC ROADS AND STREETS – IMPROVED OR UNIMPROVED, SIGNS AND EXISTING STRUCTURES AND REPAIR BACK TO ORIGINAL CONDITION IF DAMAGE HAS OCCURRED DURING CONSTRUCTION.
3. CONTRACTOR SHALL PROVIDE ALL DEMOLITION INCIDENTAL TO OR REQUIRED FOR NEW CONSTRUCTION WHETHER OR NOT IT IS SPECIFICALLY NOTED.
4. DURING CONSTRUCTION, CONTRACTOR SHALL MAINTAIN SAFE AND CLEARLY MARKED VEHICULAR CIRCULATION ALONG ALL STREETS, AND PROVIDE TRAFFIC CONTROL MEASURES AS REQUIRED.



DRAWINGS & SPECIFICATIONS

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PROJECT NUMBER:		RHD-1161
PROJECT MGR:		
DRAWN BY:	M. MAY	DATE: 7/9/2024
CHECKED BY:	-	DATE: 10/12/2023
CAD FILE NAME:		RHD-1161
SCALE: 1/4"=1'-0"		
DRAWING NUMBER:		REVISION:
A.1.0		0

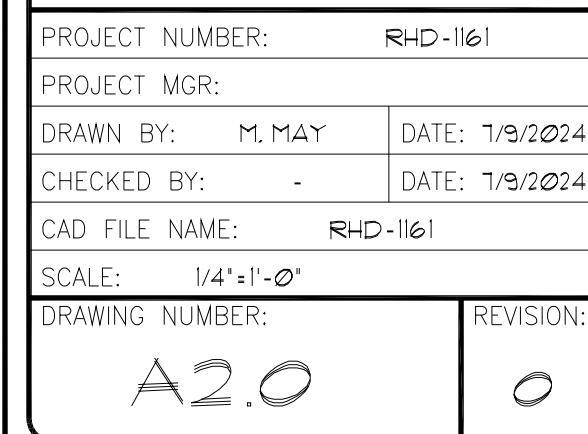


4. ASSUMED SOIL BEARING PRESSURE OF 1500 P.S.F.
5. ALL CONC. TO BEAR ON FIRM NATURAL, UNDISTURBED SOIL.
6. CONCRETE COMPRESSIVE STRENGTH AT 28 DAYS TO BE:
WALLS NOT EXPOSED TO WEATHER 2500 PSI
WALLS EXPOSED TO WEATHER 3000 PSI
PORCHES, STEPS AND GARAGE SLAB 3500 PSI
7. EXTEND FOOTINGS BELOW FROST LINE (24" MIN. INTO NATURAL SOIL FOR 1 STORY AND 2 STORY CONSTRUCTION).
8. THE GRADE AWAY FROM THE FOUNDATION WALLS TO FALL A MIN. OF 6" WITHIN THE FIRST 10 FEET.
9. 1/2" DIA. X 10' ANCHOR BOLTS TO BE USED @ 6'-0" O.C. @ 1' MIN. INTO CONC. AND 12" MAX. FROM ANY CORNER W/ 2" DIA. WASHERS AND 1/2" DIA. NUTS (CONC STEPS)
10. 18" MIN. CRAWL SPACE W/ 6" MIL. BLACK VAPOR BARRIER THRU-OUT. LAP JOINTS 12' MIN. EXTEND UP STEM WALL 4' STABLE TO MUD SILL.
11. SUGGESTED REBAR PLACEMENT PLACEMENT TO BE: 2- 4" HORIZ. REBAR IN FOOTING AND VERTICAL 4" REBAR @ 6" O.C. IN 2' EXTERIOR CONCRETE STEM WALLS. ACTUAL REBAR INSTALLATION TO FOLLOW LOCAL REQUIREMENTS.
12. SUGGESTED REBAR PLACEMENT PLACEMENT TO BE: 2- 4" HORIZ. REBAR IN FOOTING AND 2- 4" HORIZ. REBAR IN STEM WALL EQUALLY SPACED AND VERTICAL 4" REBAR @ 4" O.C. IN 2' EXTERIOR CONC. WALLS. ACTUAL REBAR INSTALLATION TO FOLLOW LOCAL REQUIREMENTS.
13. BASEMENT CONCRETE WALLS TO FOLLOW LOCAL REQUIREMENTS AND APPROVED STRUCTURAL ENGINEERED DRAWINGS.
14. ALL CONCRETE PORCHES TO BE DOULED TO EXTERIOR STEM WALL WITH 4" REBAR @ 2' O.C.
15. CONTRACTOR TO VERIFY ALL MEASUREMENTS AND SQUARENESS OF CORNERS PRIOR TO POURING AND AFTER COMPLETION OF FINAL WORK. ALL FINISHED WORK, TOP OF STEM WALLS, TOP OF FOOTINGS, SLABS, PORCHES) TO BE FINISHED AS LEVEL AS POSSIBLE.
16. ADD SIMPSON HP40222 DIE DOWN STRAP, IF REQ. FOR WIND UPPING WALLS AND ANY FOUNDATION WALL LESS THAN 2' LONG, IF GARAGE, PER LOCAL BUILDING DEPT.

DRAWINGS & SPECIFICATIONS

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[illegible]

FLOOR PLAN	
PROJECT NUMBER:	R4D-161
PROJECT MGR:	
DRAWN BY: M. MAY	DATE: 7/9/2024
CHECKED BY: -	DATE: 7/9/2024
CAD FILE NAME:	R4D-161
SCALE:	1/4"=1'-0"
DRAWING NUMBER:	REVISION:
A3.0	0

- ① 22'X30' ATTIC SPACE ACCESS. COORDINATE WITH TRUSS LAYOUT.
- ② 22'X30' CRAWL SPACE ACCESS. COORDINATE WITH JOIST LAYOUT.
- ③ CONTRACTOR TO VERIFY CLOSET LAYOUT W/HOME OWNER PRIOR TO CONSTRUCTION.

1. 5/8" TYPE "X" GYPSUM BOARD TO BE INSTALLED ON GARAGE WALLS BETWEEN HOUSE AND GARAGE.
2. 1/2" GYPSUM BOARD TO BE INSTALLED ON INSIDE WALLS OF HOUSE.
3. ALL EXTERIOR STUDS TO BE 2 x 6 #2 OR BETTER @ 16' O.C.
4. ALL INTERIOR STUDS TO BE 2 x 4 #2 OR BETTER UNLESS OTHERWISE NOTED.
5. ALL METAL CONNECTIONS TO BE SIMPSON CO. OR BETTER.
6. VENT FANS, AND DRYER TO OUTSIDE AIR.
7. CONTRACTOR TO VERIFY ALL CONDITIONS AND DIMENSIONS PRIOR TO COMMENCING WORK.
8. STANDARD HEADER TO BE 3 1/2" x 1 1/2" FIR.
WITH WOOD FILLER AT BOTTOM OF HEADER, INSULATE VOID.
9. ALL RESCUE WINDOWS FROM SLEEPING AREAS MUST MEET FOLLOWING REQUIREMENTS:
 1. SHALL HAVE A NET CLEAR OPENING OF 5.7 SQ. FT.
 2. MINIMUM HEIGHT OF 24".
 3. MINIMUM WIDTH OF 20".
 4. FINISHED SILL HEIGHT OF NOT MORE THAN 44".
10. ALL WINDOWS TO HAVE BREATHER TUBES INSTALLED.
11. CRAWL SPACE ACCESS TO BE MINIMUM OF 18" x 24".
12. EXTERIOR DIMENSIONS ARE TO FACE OF STUD WALL, INTERIOR DIMENSIONS ARE TO FACE OF STUD WALL.
13. ALL FURNACE SWITCHES, PILOTS, AND BURNERS TO BE MINIMUM 18" ABOVE FINISHED FLOOR.
14. 18" WIDE SUFFER SHELF 5ea. PER LINEN CLOSET.
15. HEARTH EXTENSIONS FOR WOOD BURNING FIRE PLACES:
HEARTH EXTENSION (each side of opening): 12" min.
HEARTH EXTENSION (front of opening): 20" min.

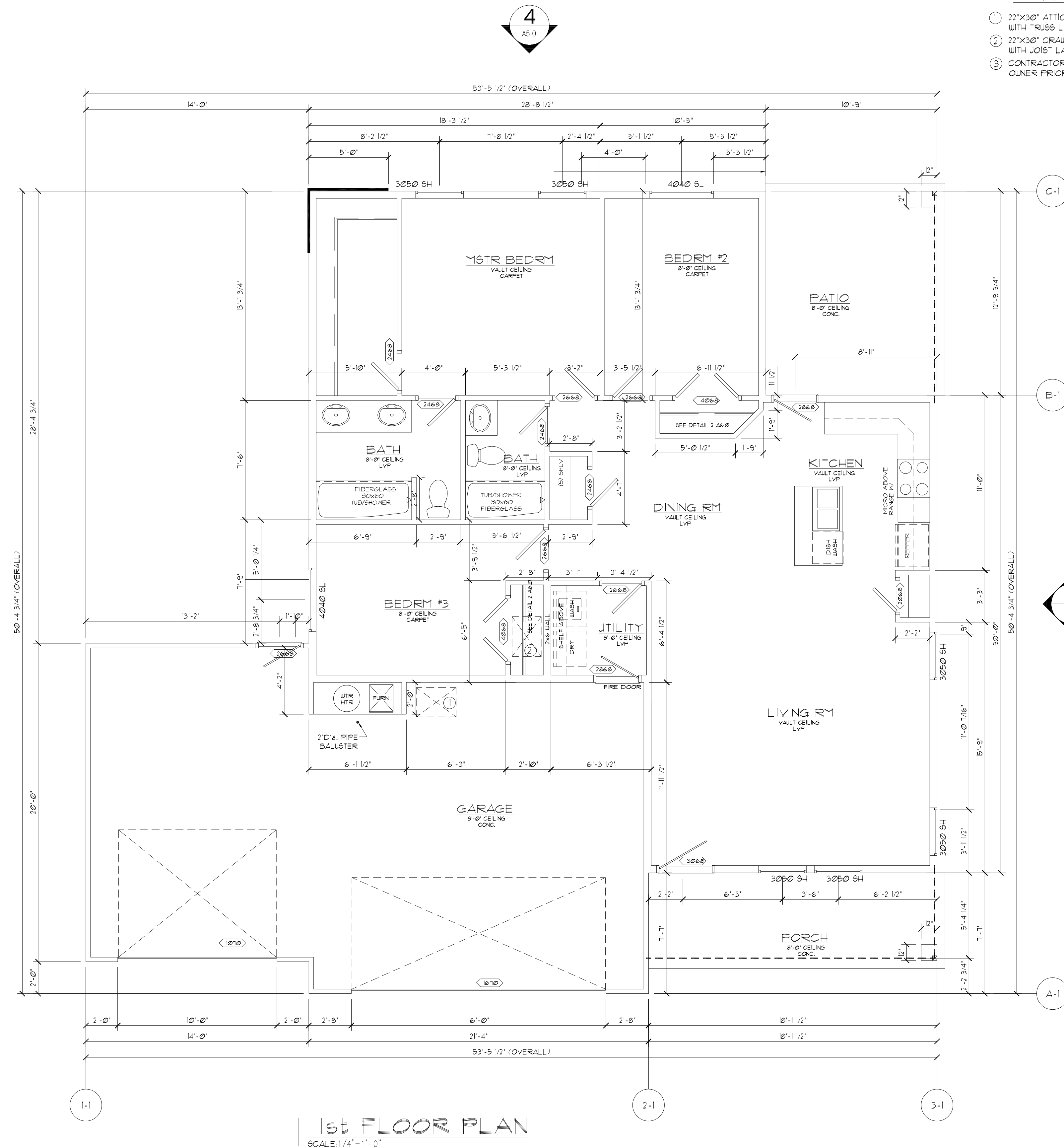
SPACE	SQ. FT.
1st FLOOR	1,300
TOTAL	1,300
GARAGE	699
PORCH	109
PATIO	138

2018 INTERNATIONAL ENERGY CONSERVATION CODE (IECC)
THE PROPOSED BUILDING HAS BEEN DESIGNED TO MEET
OR EXCEED THE REQUIREMENTS OF THE IECC.

DRAWINGS & SPECIFICATIONS

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1st FLOOR PLAN
SCALE: 1/4" = 1'-0"

GENERAL CONDITIONS

TABLE R402.1.1 INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT										
CLIMATE ZONE	FENESTRATION U-FACTOR	SKYLIGHT U-FACTOR	GLAZED FENESTRATION SHGC	CEILING R-VALUE	WOOD FRAM WALL R-VALUE	MASS WALL R-VALUE	FLOOR R-VALUE	BASEMENT WALL R-VALUE	SLAB R-VALUE	CRAWLSPACE WALL R-VALUE
5 AND MARINE 4	0.35	0.60	NR	38	20 OR 13+5 ^h	13/17	30 ^g	10/13	10, 2 ft	10/13

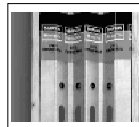
BRACING DETAILS

METHOD	MATERIAL	CONNECTION CRITERIA
WSP	WOOD STRUCTURAL PANEL (SEE SECTION R604)	EXTERIOR SHEATHING: SEE IRC TABLE R602(3) INTERIOR SHEATHING: SEE IRC TABLE R602(1)
PPG	INTERMITTENT PORTAL FRAME	SEE SECTION R602.10.3.3
LIB	LET-IN BRACING	WOOD: 2-d NAILS PER STUD INCLUDING TOP AND BOTTOM PLATE METAL: PER MANUFACTURER

GENERAL CONDITIONS

DRAWINGS & SPECIFICATIONS

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**WALL-BRACING**
Length Calculator

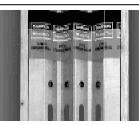
Report Application Issues or Provide Customer Feedback (<https://app.smartsheet.com/t/form?>)

2018 IRC Required Braced-Wall-Line Length Calculations

PROJECT INFORMATION
NAME: JAMEY
ADDRESS:
WALL DIRECTION: Front to Back
SEISMIC DESIGN CATEGORY: B
ULTIMATE DESIGN WIND SPEED: 115 mph
WIND EXPOSURE CATEGORY: C

	Wall Line A-1	Wall Line B-1	Wall Line C-1
Inputs			
Braced-Wall-Line Location	1st of 1-story	1st of 1-story	1st of 1-story
Eave to Ridge Height	11 ft	11 ft	11 ft
Braced-Wall-Line Spacing	37.75 ft	37.75 ft	12.81 ft
Wall Height	8 ft	8 ft	8 ft
Bracing Method	WSP	LIB	WSP
GB Construction Type	N/A	N/A	N/A
Gypsum Wall Board on Inside	Yes	Yes	Yes
Horizontal Joints Blocked	Yes	N/A	Yes
Holdown Device Used	Yes	N/A	No
WIND			
Tabulated Wind Bracing Amount	8.8825 ft	11.825 ft	2.4215 ft
Exposure Height Factor	1.2	1.2	1.2
Eave-to-Ridge Height Factor	1.08	1.08	1.08
Wind Wall Height Factor	0.9	0.9	0.9
Number of BWL Factor	1.3	1.3	1.3
Holdown Factor	0.9	1	1
Blocked Joint Factor	1	1	1
Gypsum on Inside Factor	1	1	1
Wind GB Construction Factor	1	1	1
Required Wind Bracing Amount	7.83 ft	17.6 ft	3.8 ft
RESULTS			
Length of Wall Bracing Required	7.83 ft	17.6 ft	3.8 ft

NOTES
This wall-bracing evaluation is based on the 2018 International Residential Code. The user is responsible for ensuring that the project fits within the scope of the IRC and complies with the wall-bracing requirements of Sections R602.10, R602.11 and R602.12 as applicable.

**WALL-BRACING**
Length Calculator

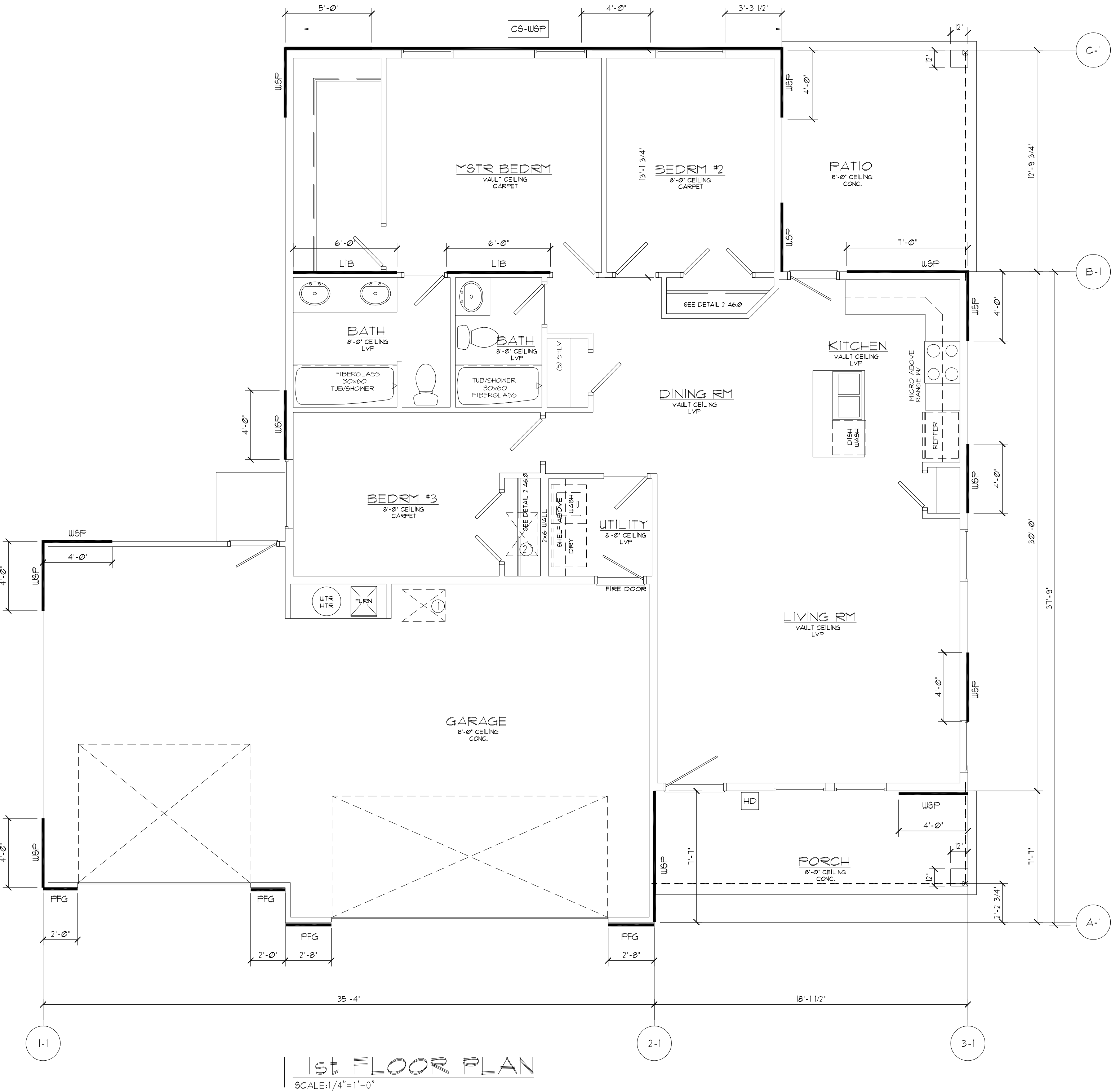
Report Application Issues or Provide Customer Feedback (<https://app.smartsheet.com/t/form?>)

2018 IRC Required Braced-Wall-Line Length Calculations

PROJECT INFORMATION
NAME: JAMEY
ADDRESS:
WALL DIRECTION: Side To Side
SEISMIC DESIGN CATEGORY: B
ULTIMATE DESIGN WIND SPEED: 115 mph
WIND EXPOSURE CATEGORY: C

	Wall Line 1-1	Wall Line 2-1	Wall Line 3-1
Inputs			
Braced-Wall-Line Location	1st of 1-story	1st of 1-story	1st of 1-story
Eave to Ridge Height	11 ft	11 ft	11 ft
Braced-Wall-Line Spacing	18.13 ft	33.33 ft	33.33 ft
Wall Height	8 ft	8 ft	8 ft
Bracing Method	WSP	WSP	WSP
GB Construction Type	N/A	N/A	N/A
Gypsum Wall Board on Inside	Yes	Yes	Yes
Horizontal Joints Blocked	Yes	Yes	Yes
Holdown Device Used	No	No	No
WIND			
Tabulated Wind Bracing Amount	3.2195 ft	5.9995 ft	5.9995 ft
Exposure Height Factor	1.2	1.2	1.2
Eave-to-Ridge Height Factor	1.08	1.08	1.08
Wind Wall Height Factor	0.9	0.9	0.9
Number of BWL Factor	1.3	1.3	1.3
Holdown Factor	1	1	1
Blocked Joint Factor	1	1	1
Gypsum on Inside Factor	1	1	1
Wind GB Construction Factor	1	1	1
Required Wind Bracing Amount	4.79 ft	8.83 ft	8.93 ft
RESULTS			
Length of Wall Bracing Required	4.79 ft	8.83 ft	8.93 ft

NOTES
This wall-bracing evaluation is based on the 2018 International Residential Code. The user is responsible for ensuring that the project fits within the scope of the IRC and complies with the wall-bracing requirements of Sections R602.10, R602.11 and R602.12 as applicable.



1st FLOOR PLAN
SCALE: 1/4"=1'-0"



JAMEY
LOT#5 BLK#3 RIVERS EDGE SUB. #2
206 AUSTIN WAY FRUITLAND, ID 83619
WALL BRACING

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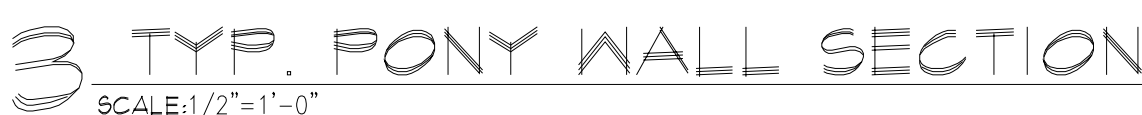
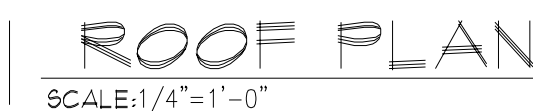
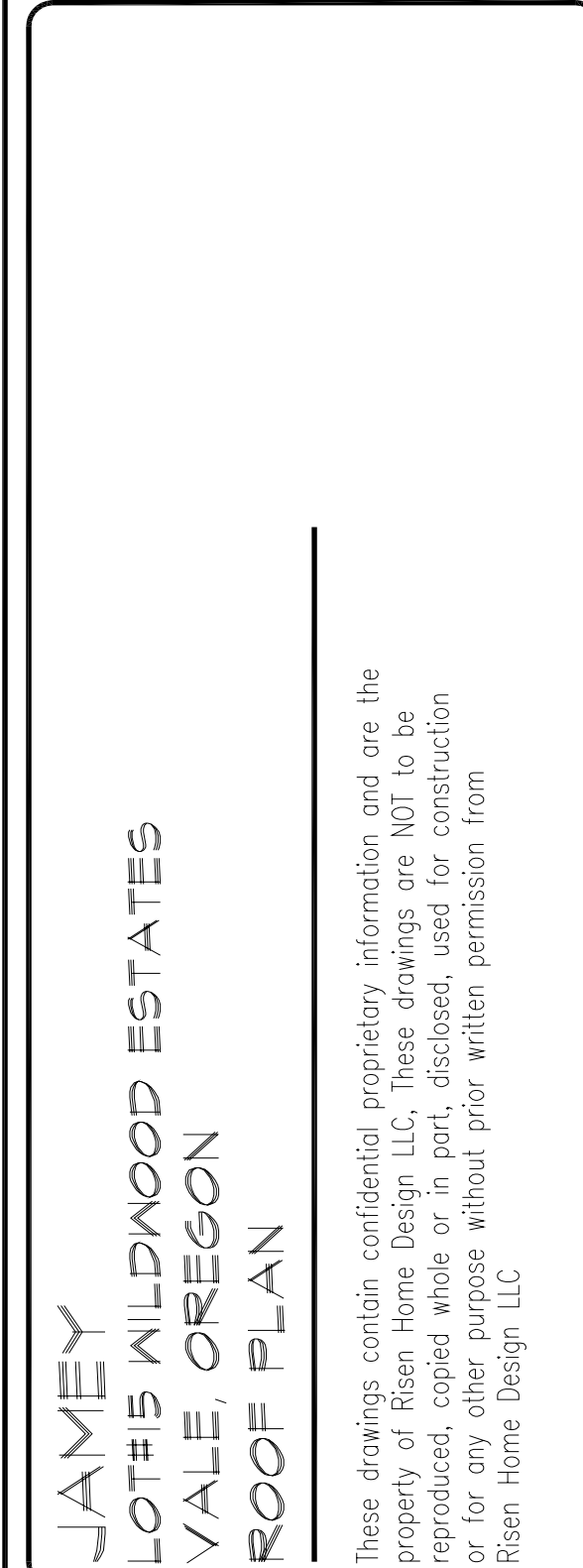
REVISIONS

NO.	ZONE	DESCRIPTION	BY	DATE
0		ISSUE FOR CONSTRUCTION	MM	1/3/2024

SHEET TITLE

WALL
BRACING

PROJECT NUMBER: RHD-1161	
PROJECT MGR:	
DRAWN BY: M.MAY	DATE: 1/3/2024
CHECKED BY: -	DATE: 1/3/2024
CAD FILE NAME: RHD-1161	
SCALE: 1/4"=1'-0"	
DRAWING NUMBER: A3.1	REVISION: 0



1. TRUSS LAYOUT AND DESIGN TO BE SPECIFIED BY LOCAL TRUSS COMPANY. BUILDING CONTRACTOR TO VERIFY ALL TRUSS LAYOUTS WITH TRUSS COMPANY BEFORE ORDERING. ALL TRUSS PROBLEMS TO BE ADDRESSED BY CONTRACTOR AND TRUSS COMPANY.
2. ALL ROOF AND SOFFIT VENTS TO BE INSTALLED ACCORDING TO IRC AND APPLICABLE LOCAL CODES.
3. ALL TOTAL SPANS MAY VARY DEPENDING UPON GIRDER TRUSS PLACEMENT. (IF REQUIRED)
4. ALL WINDOW HEADERS, GARAGE DOOR HEADER AND MICRO-LAM BEAMS UNDER ROOF LOAD TO BE SPECIFIED BY LOCAL TRUSS CO.
5. TRUSS COMPANY TO CONFIRM DESIGN ROOF SNOW LOAD SHOWN WITH COUNTY REQUIREMENTS OF THIS HOUSE LOCATION.

1. THE TOTAL NET FREE VENTILATION AREA SHALL NOT BE LESS THAN 1/300 OF THE AREA OF THE SPACE VENTILATED, PROVIDED THAT AT LEAST 40% BUT NOT MORE THAN 50% OF THE REQUIRED AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE BEING VENTILATED. THE REMAINING BALANCE OF THE REQUIRED VENTILATING WILL BE PROVIDED BY EAVE VENTS AND/OR LOW ROOF VENTS (R206.2).
2. ALTERNATIVE METHOD: VENTILATION SHALL NOT BE LESS THAN 1/150 OF THE AREA OF THE SPACE VENTILATED

VENTS:

1. 10"x10" ROOF VENTS ARE BASED ON 51sq IN NET FREE VENTILATION AREA PER VENT
2. EAVE VENTS ARE BASED ON 9sq IN NET FREE VENTILATION AREA PER VENT

DRAWINGS & SPECIFICATIONS

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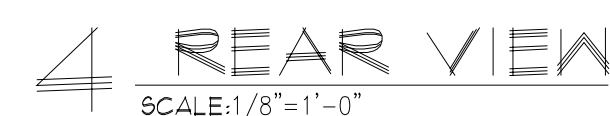
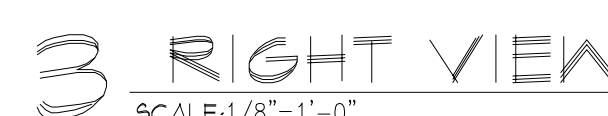
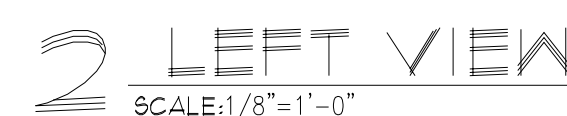


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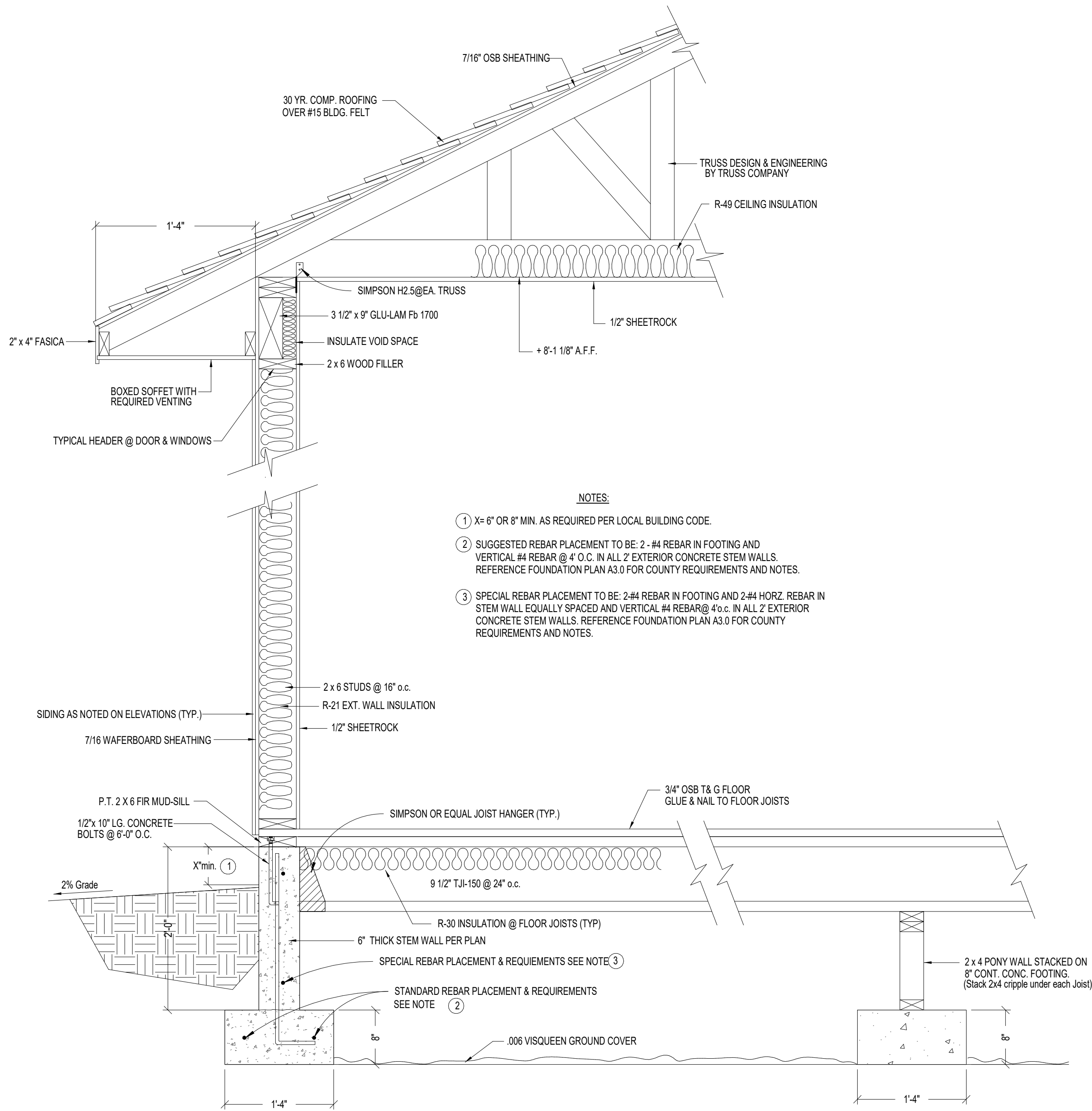
PROJECT NUMBER:		RHD-1161	
PROJECT MGR:			
DRAWN BY:		M. MAY	
DATE:		7/9/2024	
CHECKED BY:		-	
DATE:		7/9/2024	
CAD FILE NAME:		RHD-1161	
SCALE:		1/4"=1'-0"	
DRAWING NUMBER:		REVISION:	
A5.0		0	

- ① 30 YR COMF, ROOFING OVER #5 BLDG. FELT
- ② COTTAGE LAP SIDING
- ③ PATIO
- ④ 16 X1' OVERHEAD DOOR
- ⑤ COLUMN
- ⑥ BOARD AND BATT
- ⑦ AC LOCATION
- ⑧ 48'X48' CONC. STOOF
- ⑨ STONE VENEER
- ⑩ PORCH
- ⑪ 10'X1' OVERHEAD DOOR

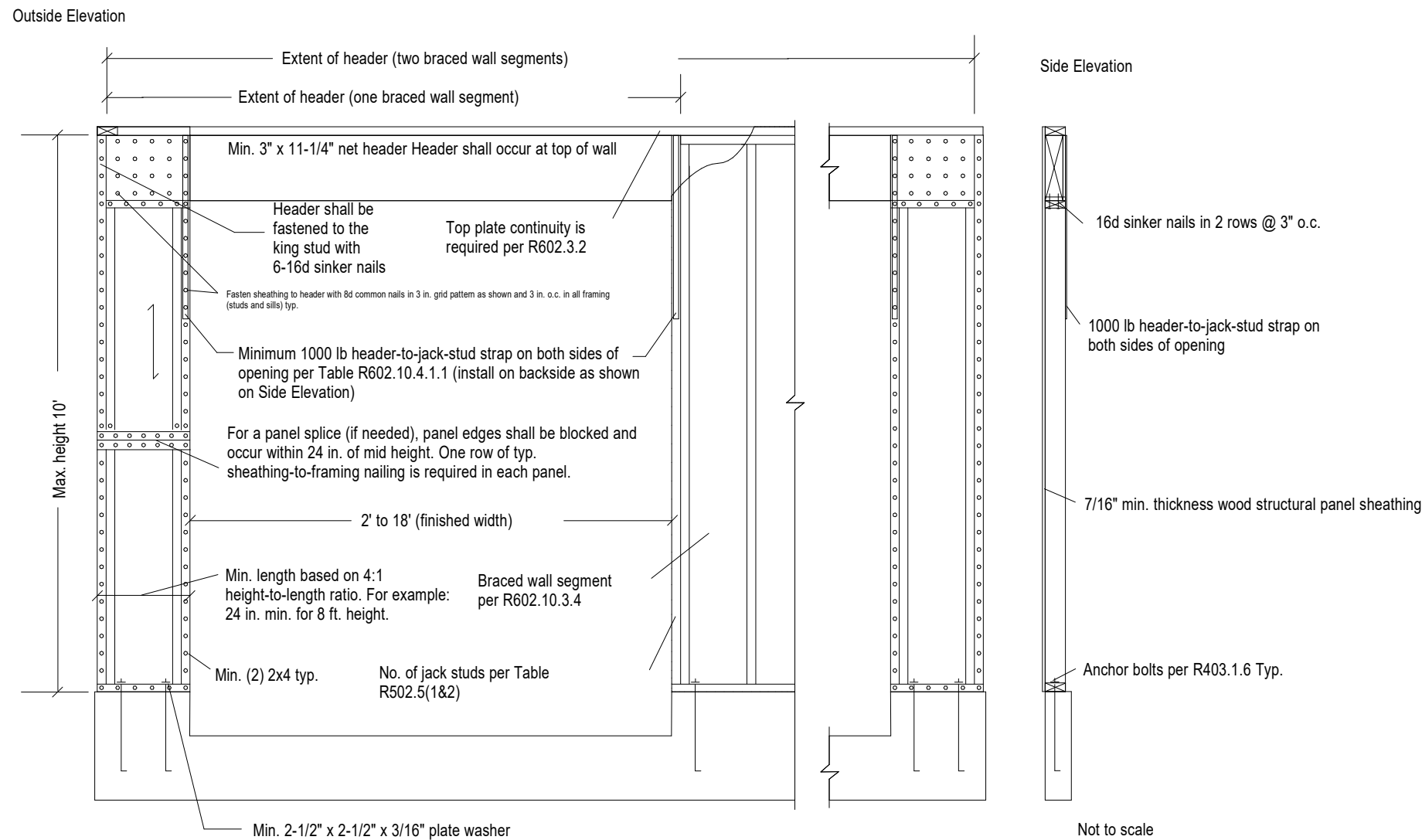


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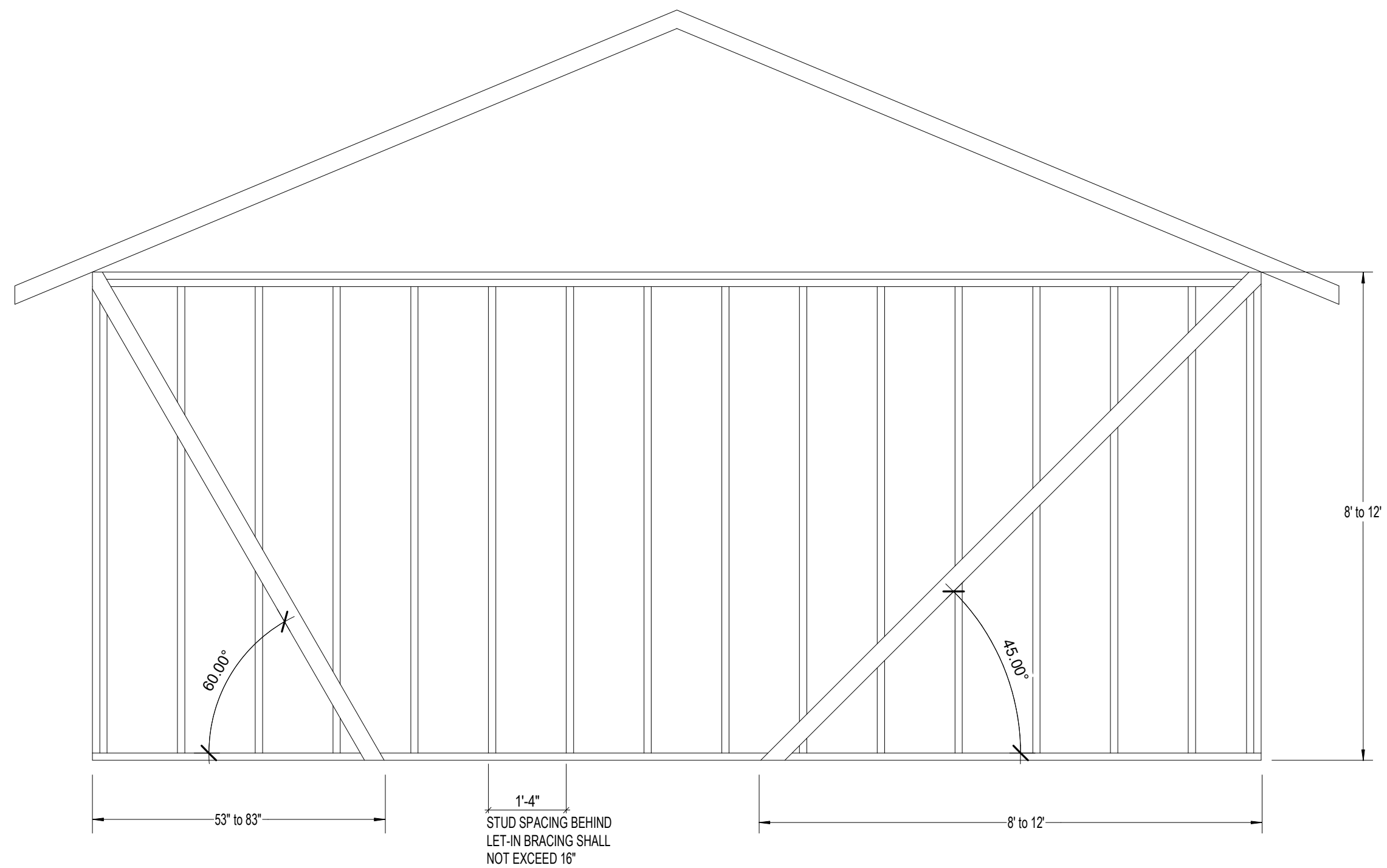
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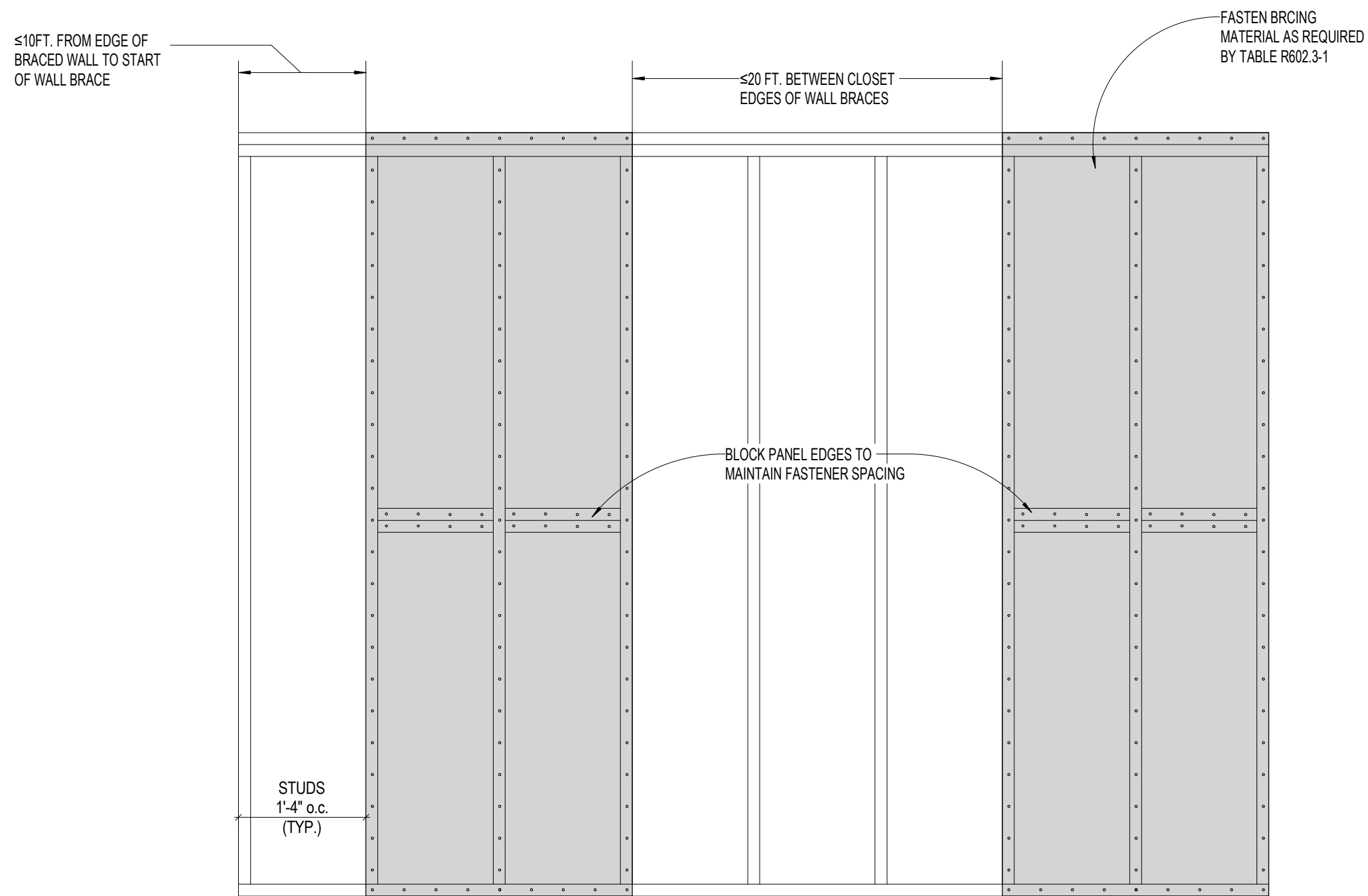
1 WALL SECTION
1/2" = 1'-0"



2 PFG DETAIL
1/2" = 1'-0"



3 LIB DETAIL
1/2" = 1'-0"



4 WSP DETAIL
3/4" = 1'-0"

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GENERAL CONDITIONS			
DRAWINGS & SPECIFICATIONS			
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THE JAMEY
LOT#15 WILDWOOD ESTATES
DETAILS

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REVISIONS	
NO.	DESCRIPTION
0	ISSUE FOR CONSTRUCTION
1	ISSUE FOR CONSTRUCTION

SHEET TITLE	
DETAILS	
RHD PROJECT NUMBER: RHD-1161	
DRAWN BY: MM	DATE: 6/18/2024
CHECKED BY: -	DATE: 6/18/2024
DRAWING NUMBER: A7.2	REV: 1



PROJECT NUMBER:		RHD-1161
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DRAWN BY:	M. MAY	DATE: 7/9/2024
CHECKED BY:	-	DATE: 7/9/2024
CAD FILE NAME:		RHD-1161
SCALE: 1/4" = 1'-0"		
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A8.0		0