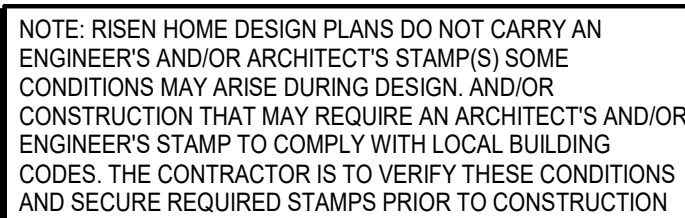
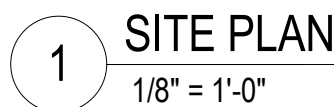
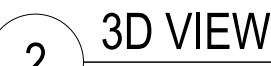


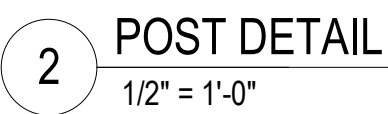
REVISIONS

SHEET TITLE
SITE PLAN

A1.0

REV
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DRAWINGS & SPECIFICATIONS
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**TABLE 1: HOLD DOWN (HD) SCHEDULE
(R WOOD SHEAR WALL TO CONCRETE FOUNDATION)**

NOTE: RISEN HOME DESIGN PLANS DO NOT CARRY AN ENGINEER'S AND/OR ARCHITECT'S STAMP(S) SOME CONDITIONS MAY ARISE DURING DESIGN, AND/OR CONSTRUCTION THAT MAY REQUIRE AN ARCHITECT'S AND/OR ENGINEER'S STAMP TO COMPLY WITH LOCAL BUILDING CODES. THE CONTRACTOR IS TO VERIFY THESE CONDITIONS AND SECURE REQUIRED STAMPS PRIOR TO CONSTRUCTION

1. ASSUMED SOIL BEARING PRESSURE OF 1500 P.S.F.
2. ALL CONC. TO BE ON FIRM, NATURAL, UNDISTURBED SOIL.
3. CONCRETE COMPRESSIVE STRENGTH AT 28 DAYS TO BE:
WALLS NOT EXPOSED TO WEATHER 3500 PSI
WALLS EXPOSED TO WEATHER 3000 PSI
PORCHES, STEPS & GARAGE SLAB 3500PSI
4. EXTEND FOOTING BELOW FROST LINE, (24" MIN. INTO NATURAL SOIL FOR 1 STORY AND 2 STORY CONSTRUCTION
5. THE GRADE AWAY FROM THE FOUNDATION WALLS TO FALL A MIN. 6" WITHIN THE FIRST 10 FEET.
6. 1/2" DIA. X 10" ANCHOR BOLTS TO BE USED @ 6'-0" O.C. & 7" MIN. INTO CONC. & 12" MAX FROM ANY CORNER WT' DIA. WASHERS
7. 1/2" DIA. NUTS (CONC. STEM WALLS)
8. 18" MIN. CRACK W/ALL W/6 MIL BLACK VAPOR BARRIER THROUGHOUT LAP JOINTS 12" MIN. EXTEND UP STEAM WALL & STAPLE TO MUD SILL.
9. SUGGESTED REBAR PLACEMENT TO BE: 2-#4 HORIZONTAL REBAR IN FOOTING AND 2-#4 HORIZONTAL REBAR @ 6'-0" O.C. IN ALL 2' EXTERIOR CONCRETE STEM WALLS. ACTUAL REBAR INSTALLATION TO FOLLOW LOCAL REQUIREMENTS.
10. SUGGESTED REBAR PLACEMENT TO BE: 2-#4 HORIZONTAL REBAR IN FOOTING AND 2-#4 HORIZONTAL REBAR IN STEM WALL EQUALLY SPACED AND 2-#4 ACTUAL REBAR @ 6'-0" O.C. IN ALL 2' EXTERIOR CONCRETE STEM WALLS. ACTUAL REBAR INSTALLATION TO FOLLOW LOCAL REQUIREMENTS.
11. BASEMENT CONCRETE WALLS TO FOLLOW LOCAL REQUIREMENTS AND OR PER APPROVED STRUCTURAL ENGINEERING DRAWINGS.
12. ALL CONCRETE PORCHES TO BE DOWELED TO EXTERIOR STEM WALL WITH REBAR @ 2'-0" O.C.
13. CONTRACTOR TO VERIFY ALL MEASUREMENTS AND SQUARENESS OF CORNERS PRIOR TO POURING AND AFTER COMPLETION OF FINAL WORK. ALL FINISHED WORK (TOP OF STEM WALLS, TOP OF FOOTINGS, SLABS, PORCHES) TO BE FINISHED AS LEVEL AS POSSIBLE.
14. NAIL CONC. TO 2X4 OR 2X6 STRAP TO ALL GARAGE WING WALLS AND ANY FOUNDATION WALL LESS THAN 2' LONG, IF REQUIRED PER LOCAL BUILDING DEPARTMENT.

- 1 CONTINUOUS FOUNDATION WALL BLOCK OUT AS REQUIRED.
- 2 CRAWL SPACE ACCESS.
- 3 4" CONCRETE SLAB ON 4" COMPACT GRAVEL BASE W/ 6" THICKENED SLAB EDGE TO FROSTLINE W/ 4 x 18" BAR @ 24" O.C.
- 4 ALL FOUNDATIONS, FOOTINGS, AND BALCONY/ROOF SUPPORT PIERS TO MAINTAIN A MINIMUM DEPTH OF 24" BELOW FINISH GRADE ELEVATION FOR FROST PROTECTION.
- 5 ANCHOR BOLTS PER R403.1.6 AS REQUIRED PER PORTAL FRAMING AT GARAGE DOORS
- 6 CONC. STOOD.
- 7 SIMPSON POST BASE OR EQUAL.
- 8 24"x24" MIN. DEEP CONC. SUPPORT PIER@CONC. SLAB.
- 9 BLOCK OUT PONY WALL FOR 18"x24" CRAWL ACCESS
- 10 2" Ø x 48" STEEL PIPE BALUSTER SET IN A 12" x 12" x 12" CONCRETE FOOTING FOR MECHANICAL AND/OR STRUCTURAL IMPACT PROTECTION

REVISIONS

SHEET TITLE

RHD PROJECT NUMBER:		RHD-1133
DRAWN BY:	RMC	DATE: 4/18/2024
CHECKED BY:	MM	DATE: 4/18/2024
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IRON SPRINGS
LOT#5 BLK#1 BAYHILL SUBDIVISION
NAMPA, ID
1st FLOOR PLAN

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REVISIONS

NO.	DESCRIPTION	DATE
0	ISSUE FOR CONSTRUCTION	4/18/2024
1	ISSUE FOR CONSTRUCTION	4/22/2024

SHEET TITLE

1st FLOOR
PLAN

RHD PROJECT NUMBER: RHD-1133

DRAWN BY: RMC DATE: 4/18/2024

CHECKED BY: MM DATE: 4/18/2024

DRAWING NUMBER: A3.0 REV: 1

FLOOR PLAN NOTES

- ALL STRUCTURAL LUMBER SIDED FOR #2 OR BETTER DOUG FIR LARCH.
- 2x EXTERIOR STUD FRAMING @ 16" O.C. W/ SINGLE BOTTOM PLATE AND DOUBLE TOP PLATE.
- 4x8 HEADERS IN ALL BEARING WALL OPENING UNLESS OTHERWISE NOTED.
- ALLOW FOR A 22" x 30" (MIN) ATTIC AND CRAWL SPACE ACCESS.
- ALL METAL CONNECTIONS TO BE SIMPSON CO. OR BETTER.
- 5/8" TYPE 'X' GYP BOARD @ ALL GARAGE COMMON WALLS AND CEILINGS APPLIED TO GARAGE SIDE AND ALL WALLS, BEAMS, POSTS AND OTHER STRUCTURAL MEMBERS SUPPORTING FIRE PROTECTED HORIZONTAL STRUCTURAL MEMBERS.
- DOORS BETWEEN GARAGE AND DWELLING ARE TO BE SELF CLOSING AND TIGHT FITTING SOLID WOOD DOOR 1 3/8" THICK OR A DOOR W/ A FIRE PROTECTION RATING OF NOT LESS THAN 20 MINUTES.
- 1/2" GYPSUM BOARD TO BE INSTALLED ON INSIDE WALLS OF HOUSE.
- ALL WINDOWS TO HAVE BREATHER TUBES INSTALLED.
- ROOF SYSTEM TO BE PRE-ENGINEERED MANUFACTURED ROOF TRUSSES UNLESS OTHERWISE NOTED.
- ALL CONSTRUCTION PRACTICES USED IN THE CONSTRUCTION OF THIS DWELLING SHALL BE DONE IN ACCORDANCE W/ THE 2018 WHERE APPLICABLE.
- VENT RANGE HOOD, FANS, AND DRYER TO OUTSIDE AIR. CONTRACTOR TO VERIFY ALL CONDITIONS AND DIMENSIONS PRIOR TO COMMENCING WORK.
- ALL RESCUE WINDOWS FROM SLEEPING AREAS MUST MEET THE FOLLING REQUIREMENTS:
 - SHALL HAVE A NET CLEAR OPENING OF 5.1 SQ. FT.
 - MINIMUM HEIGHT OF 24".
 - MINIMUM WIDTH OF 20".
 - FINISHED SILL HEIGHT OF NOT MORE THAN 44".
- EXTERIOR DIMENSIONS ARE TO FACE OF STUD WALL. INTERIOR DIMENSIONS ARE TO FACE OF STUD WALL.
- ALL FURNACE SWITCHES, PILOTS, AND BURNERS TO BE MINIMUM 18" ABOVE FINISHED FLOOR.

SQ./FT.

1ST FLOOR	2216 SF
GARAGE	505 SF
R.V. BAY	471 SF
COVERED PORCH	94 SF
COVERED PATIO	214 SF

SHEET NOTES

- CRAWL SPACE ACCESS. COORDINATE WITH JOIST LAYOUT.
- ATTIC SPACE ACCESS. COORDINATE WITH TRUSS LAYOUT.

DOOR/WINDOW TAG EXAMPLE

DOOR TAG	WINDOW TAG
26	40/56 SH = 4'-0" x 5'-6" SINGLE HUNG

NOTE: VERIFY ALL WINDOW/DOOR ROUGH OPENING AND HEADER HEIGHT AND THE SAME FOR TRIM PACKAGE. VERIFY STANDARD HEIGHTS WITH CONTRACTOR BEFORE FRAMING.

SEE 2018 IRC

- R302.7 PROVIDE UNDERSTAIR PROTECTION AS REQUIRED
R302.11 PROVIDE FIREBLOCKING AS REQUIRED
R303.7 PROVIDE SWITCHING AND ILLUMINATION AS REQUIRED
R305 PROVIDE SUFFICIENT CEILING HEIGHTS
R311.7 MEET STAIRWAY REQUIREMENTS
R312 MEET GUARD REQUIREMENTS

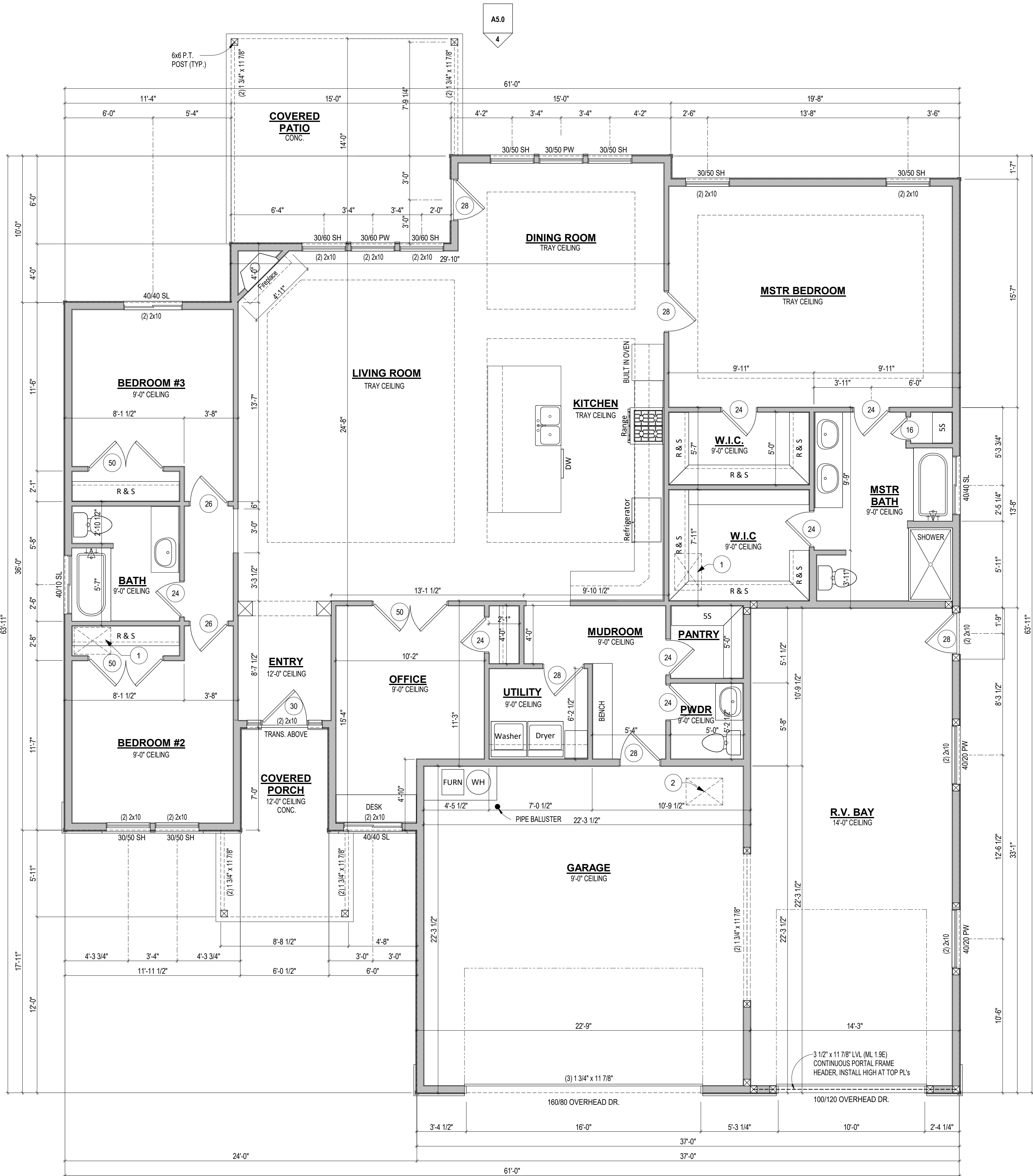
GENERAL CONDITIONS

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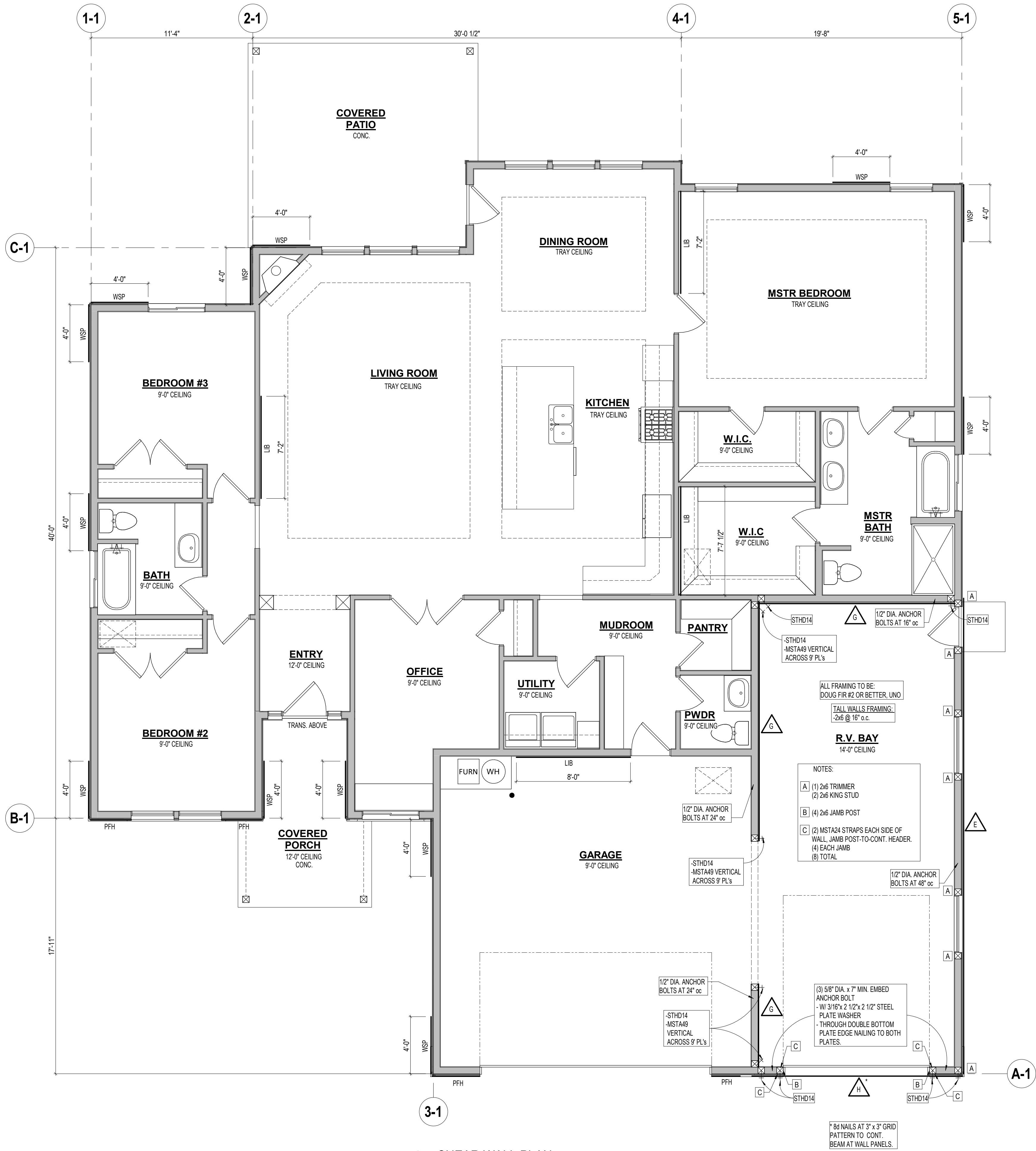
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TABLE R402.1.1 INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT									
CLIMATE ZONE	FENESTRATION U-FACTOR	SKYLIGHT U-FACTOR	GLAZED FENESTRATION SHGC	CEILING R-VALUE	WOOD FRAM WALL R-VALUE	MASS WALL R-VALUE	FLOOR R-VALUE	BASEMENT WALL R-VALUE	SLAB R-VALUE
5 AND MARINE 4	0.35	0.60	NR	38	20 OR 13+5 ^h	13/17	30 ^g	10/13	10, 2 ft



1st FLOOR PLAN

1/4" = 1'-0"



1 SHEAR WALL PLAN
1/4" = 1'-0"

GENERAL NOTES

ALL EXTERIOR WALL SHALL BE SHEATHED w/7/16" OSB. ATTACH WITH MIN. 16 GA. X 1 3/4" LEG STAPLES AT 6" o.c. TO ALL SUPPORTED PANEL EDGES AND AT 8" o.c. IN THE FIELD. U.N.O.

STAPLES SHALL NOT BE SUBSTITUTED FOR COMMON NAILS AT SHEAR PANELS. ALL SHEAR PANELS SHALL HAVE DOUBLE STUDS AT ENDS FOR EDGE NAILING AND ATTACHMENT OF STRAPS AND/OR HOLD DOWNS, TYP.

ALL HOLD DOWNS SHALL ALIGN AT DOUBLE STUDS AT ENDS OF SHEAR PANELS, TYP.

PROVIDE 'SIMPSON' H1 AT ALL TRUSS BEARING LOCATIONS.

ALL SHEATHING SHALL BE CONTINUOUS TO FLOOR/PLATE BEHIND ALL ATTACHED ROOF FRAMING INTO WALL.

PROVIDE DOUBLE STUD ABOVE AND BELOW ALIGNED AT STRAPS BETWEEN FLOORS FOR STRAP ATTACHMENT. WITH PANEL EDGE NAILING FOR FULL HEIGHT OF DOUBLE STUD.

PROVIDE GALVANIZED NAILS INTO PRESERVATION TREATED SILL PLATES. NAIL SIZE AND SPACING TO MATCH SHEAR WALL SPECIFIED. PROVIDE 8d GALVANIZED NAILS AT SAME SPACING WHERE STAPLES USED.

AT MINIMUM, PROVIDE REINFORCING BARS IN FOUNDATION AT HOLD DOWN LOCATIONS PER MANUFACTURE'S REQUIREMENTS

SHEAR WALL SCHEDULE

- E 7/16" OSB w/ 8d COMMON NAILS AT 6" o.c. TO ALL PANEL EDGES & 12" o.c. IN THE FIELD (PROVIDE BLOCKING AT ALL PANEL EDGES)
- G 7/16" OSB w/ 8d COMMON NAILS AT 3" o.c. TO ALL PANEL EDGES & 12" o.c. IN THE FIELD (PROVIDE BLOCKING AT ALL PANEL EDGES)
- H 7/16" OSB w/ 8d COMMON NAILS AT 2" o.c. TO ALL PANEL EDGES & 12" o.c. IN THE FIELD (PROVIDE BLOCKING AT ALL PANEL EDGES)

BRACING DETAILS

METHOD	MATERIAL	CONNECTION CRITERIA
WSP	WOOD STRUCTURAL PANEL (SEE SECTION R604)	EXTERIOR SHEATHING: SEE IRC TABLE R602(3) INTERIOR SHEATHING: SEE IRC TABLE R602(1)
PFH	INTERMITTENT PORTAL FRAME	SEE SECTION R602.10.3.3
LIB	LET-IN BRACING	WOOD: 2-8d NAILS PER STUD INCLUDING TOP AND BOTTOM PLATE METAL PER MANUFACTURER

GENERAL CONDITIONS

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IRON SPRINGS
LOT#5 BLK#1 BAYHILL SUBDIVISION
NAMPA, ID
SHEAR WALL PLAN

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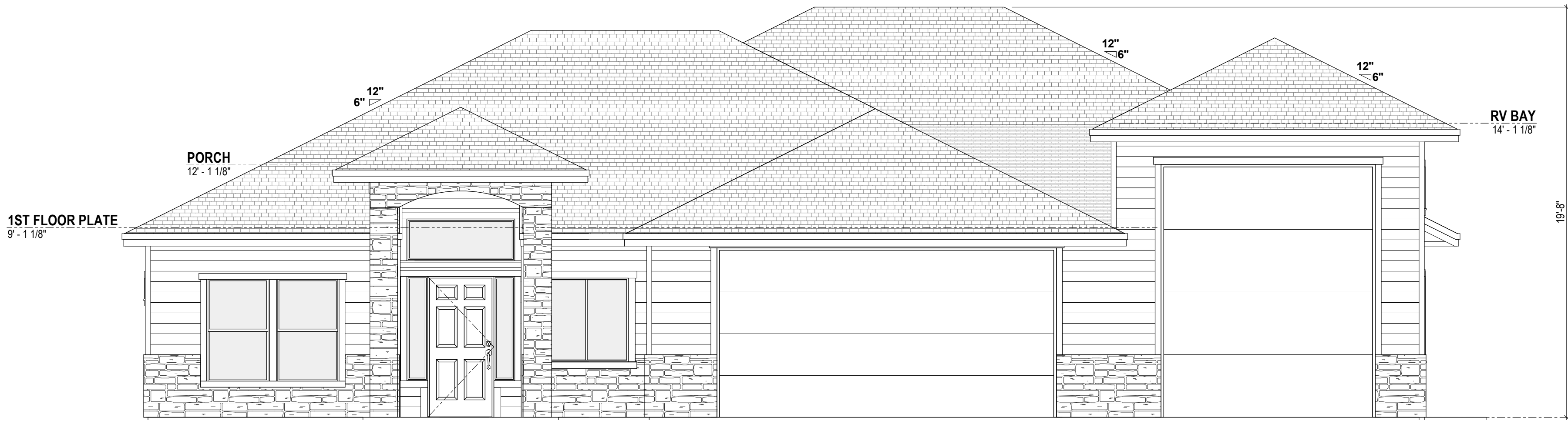
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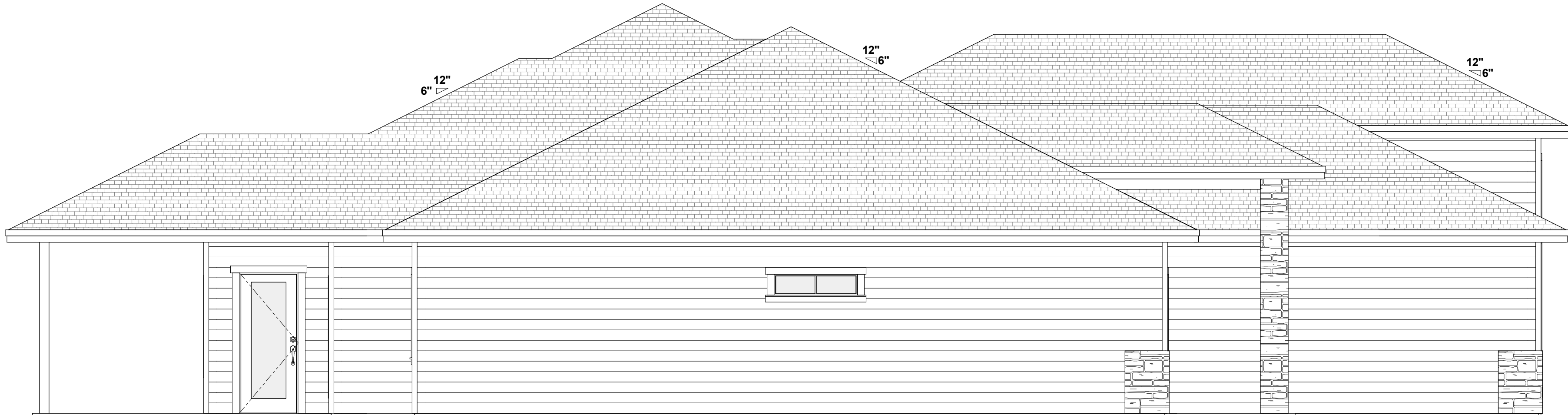
SHEAR WALL
PLAN

RHD PROJECT NUMBER:	RHD-1133
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DATE:	4/22/2024
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R806 - PROVIDE ADEQUATE ATTIC VENTILATION.



1 FRONT VIEW
1/4" = 1'-0"



2 LEFT VIEW
1/4" = 1'-0"



3 RIGHT VIEW
1/4" = 1'-0"



4 BACK VIEW
1/4" = 1'-0"

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GENERAL CONDITIONS
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
IRON SPRINGS
LOT#5 BLK#1 BAYHILL SUBDIVISION
NAMPA, ID
ELEVATIONS

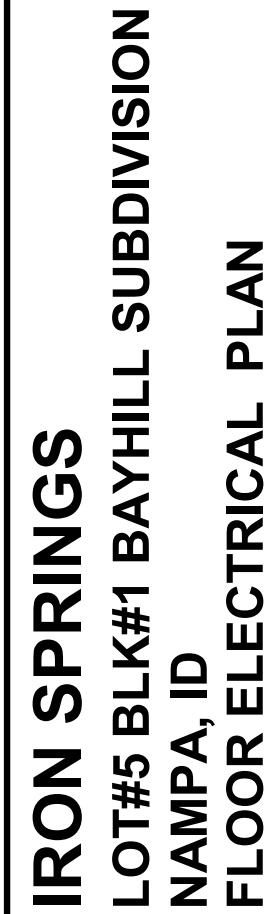
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SHEET TITLE		
ELEVATIONS		
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DRAWN BY: RMC	DATE: 4/18/2024	
CHECKED BY: MM	DATE: 4/18/2024	
DRAWING NUMBER: A5.0	REV: 0	



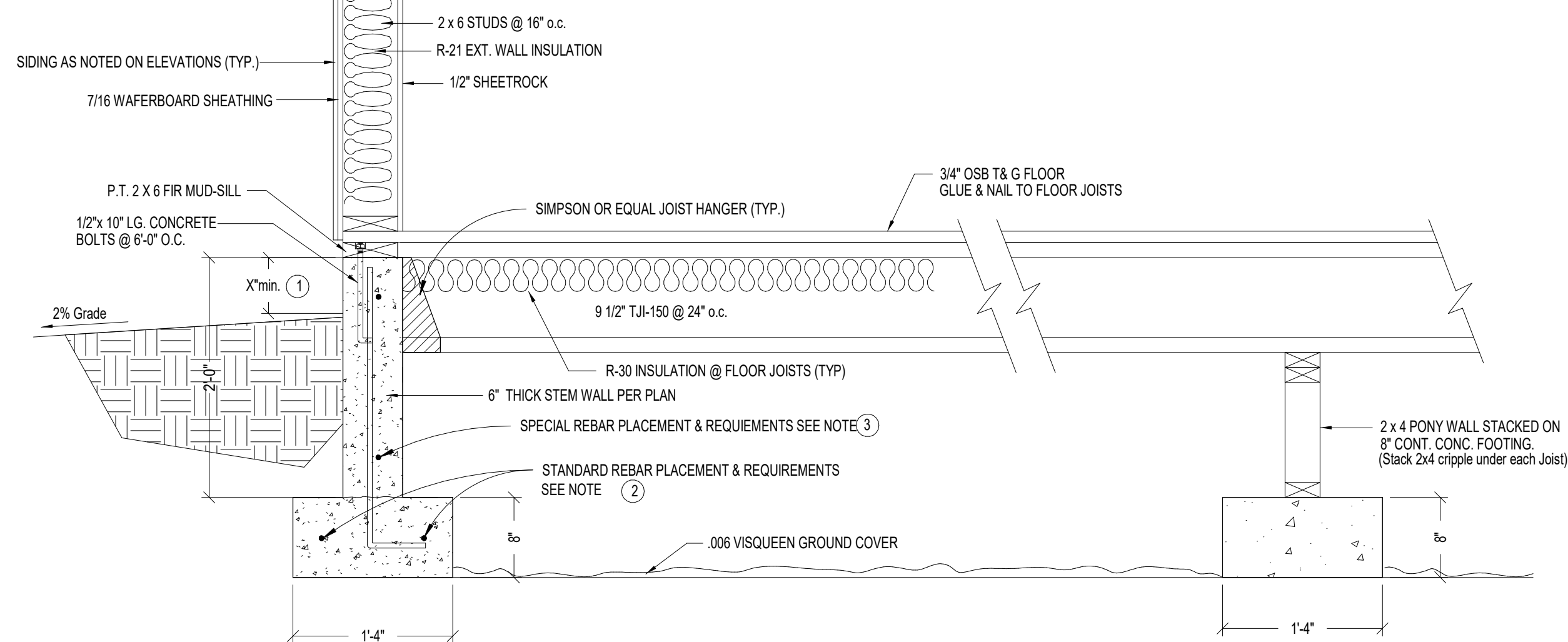
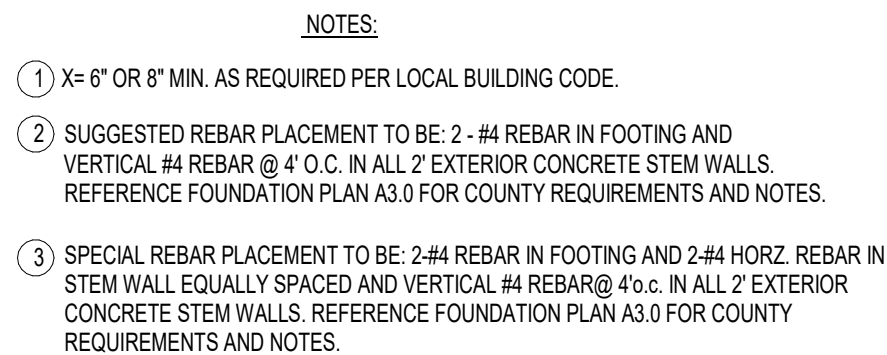
	CEILING FAN		LIGHT w/ FAN ROUGH
	LIGHTED CEILING FAN		LIGHT & FAN ROUGH



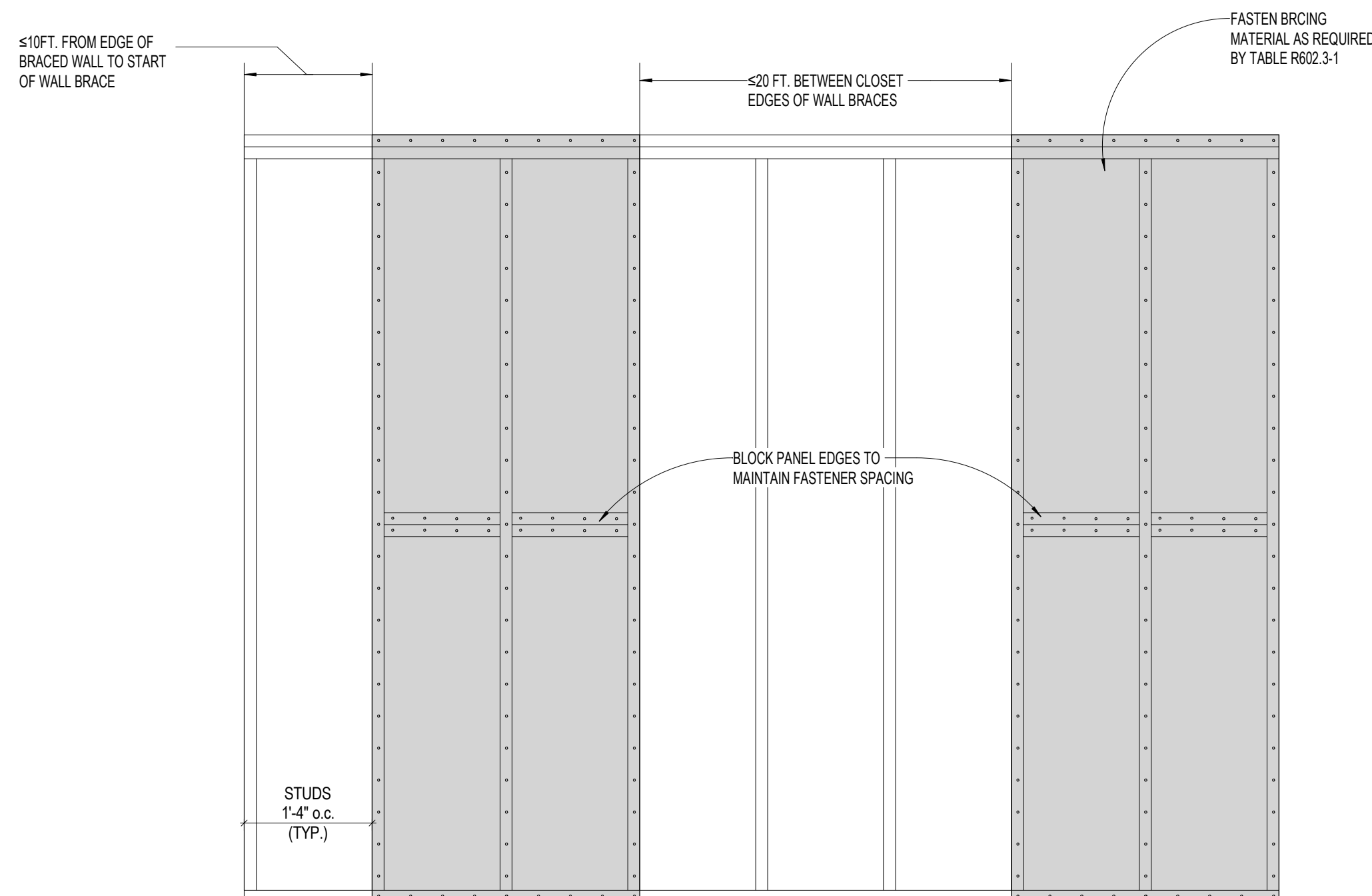
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SHEET TITLE	
ELECTRICAL PLAN	
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CHECKED BY: MM	DATE: 4/18/2012
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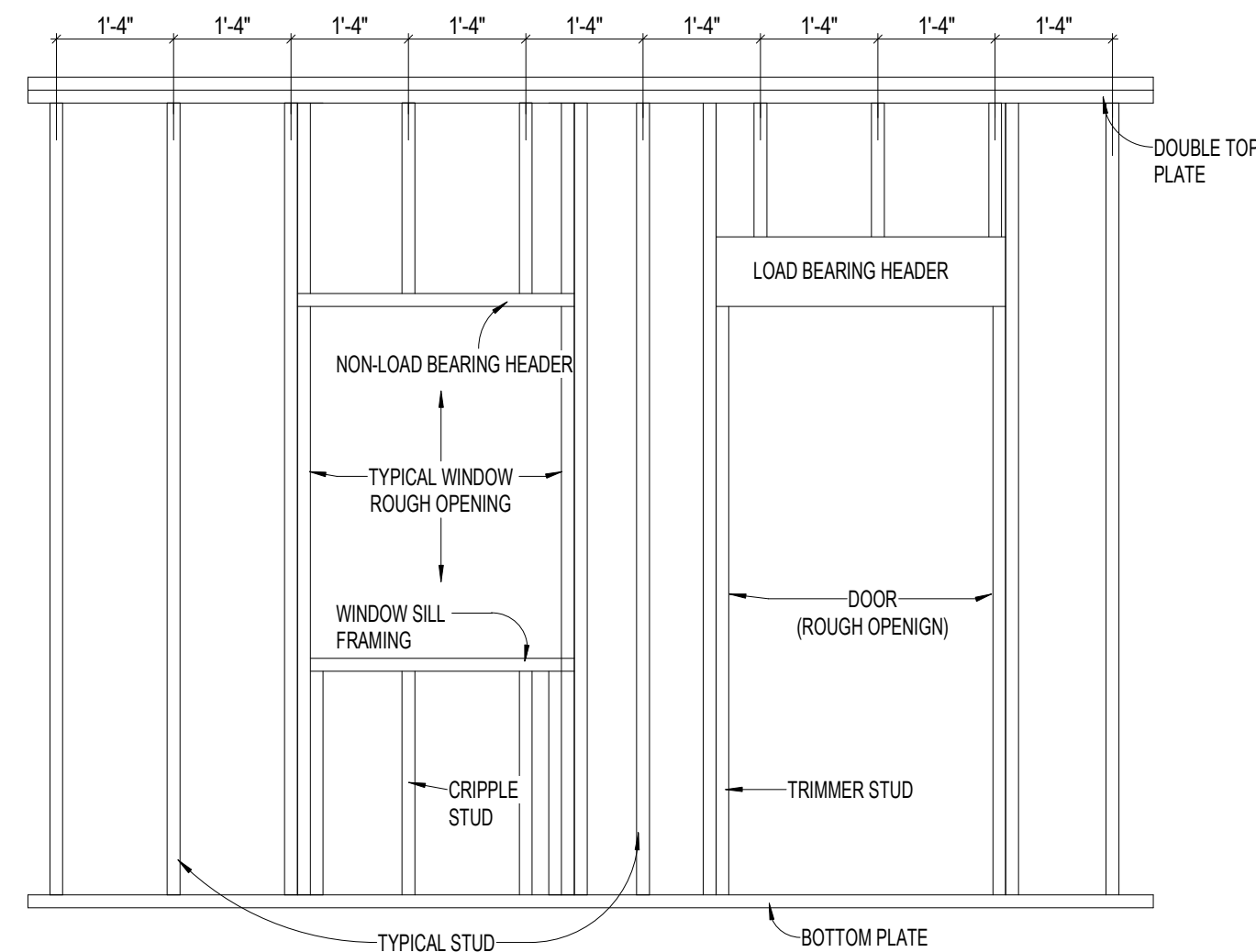
GENERAL CONDITIONS	
DRAWINGS & SPECIFICATIONS	<p>IT IS THE INTENT OF THE DRAWINGS AND SPECIFICATIONS TO BE GUIDELINES FOR CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING ANY QUESTIONS AND MEANINGS IN THE WORKING DRAWINGS AND SPECIFICATIONS AND THE CONTRACTOR SHALL NOTIFY THE DESIGNER IN WRITING OF ANY ERRORS, OMISSIONS, OR UNSUITABLE DETAILING WHICH MAY CAUSE CONSTRUCTION PROBLEMS. THE DESIGNER'S LIABILITY REGARDING ERRORS AND/OR OMISSIONS WILL BE LIMITED TO THE CORRECTION OF THE ORIGINAL DRAWINGS. CONSULTANT'S LIABILITY IS THE SAME.</p>



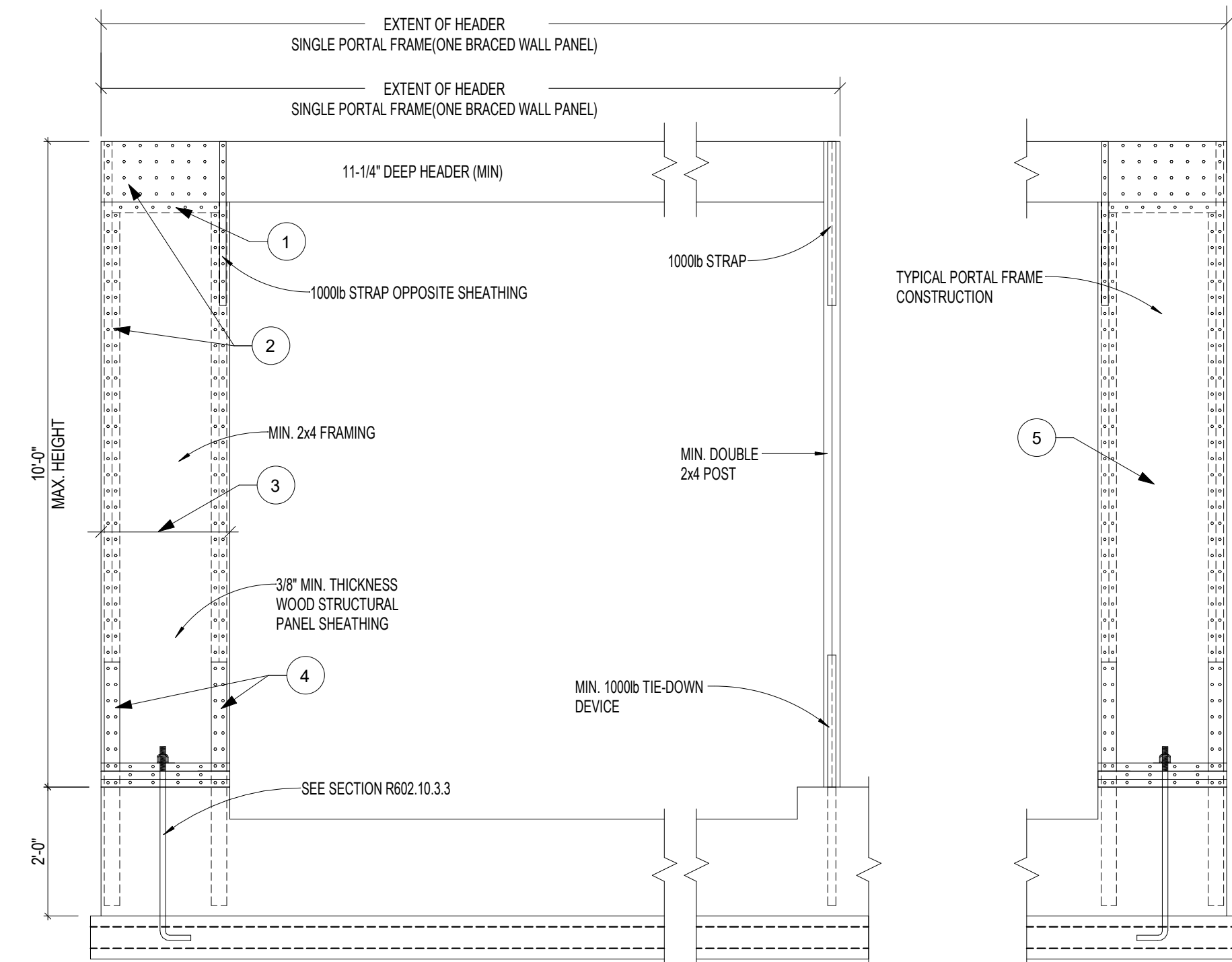
1 WALL SECTION
1" = 1'-0"



4 WSP DETAIL
3/4" = 1'-0"



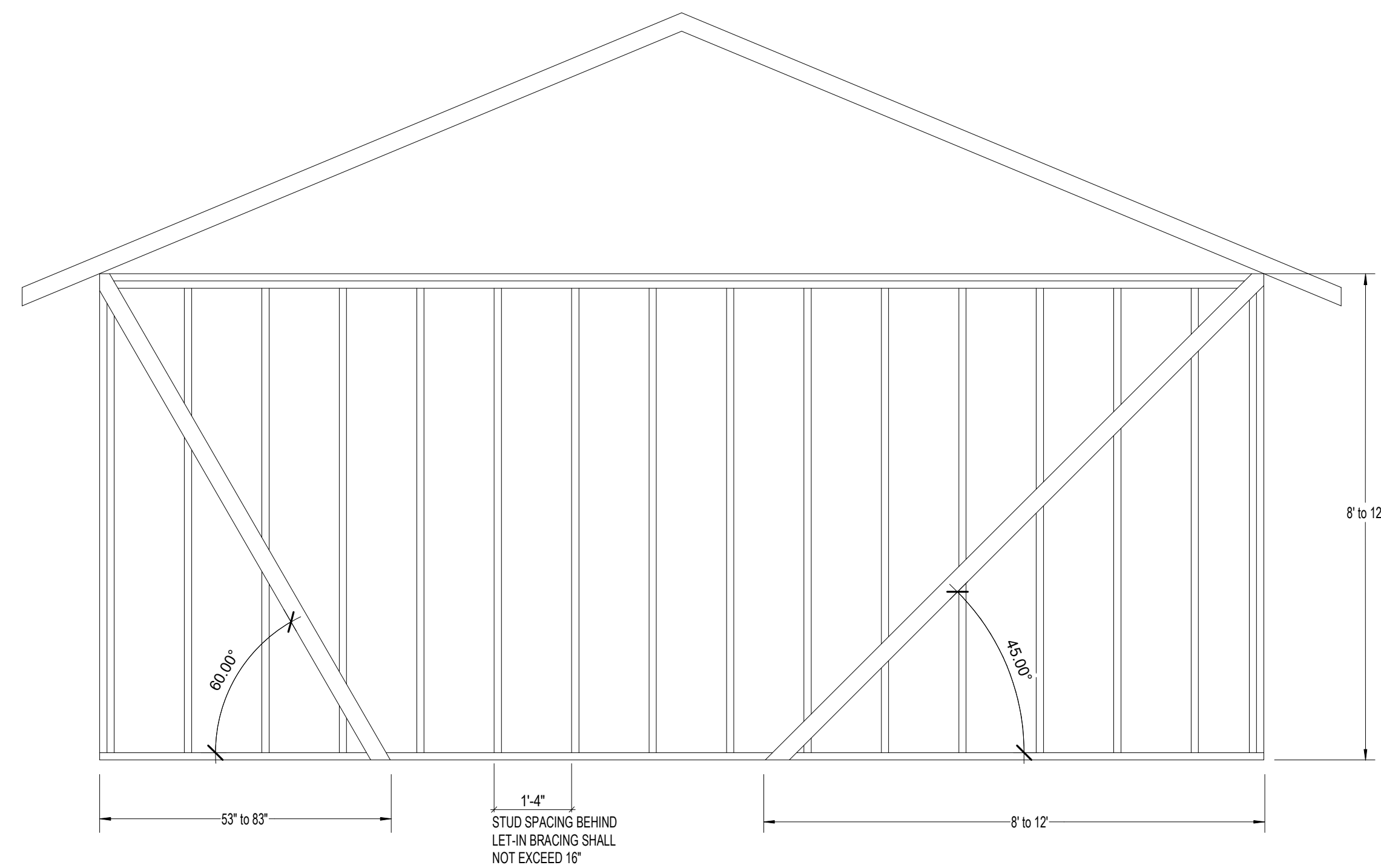
2 FRAMING DETAIL
1/2" = 1'-0"



FRONT ELEVATION

- 1 FASTEN TOP PLATE TO HEADER WITH TWO ROWS OF 16d SINKER. NAILS@3in. o.c. (TYP)
- 2 FASTEN SHEATHING TO HEADER WITH #4 COMMON OR GALVANEED BOX NAILS IN 3in. GRID PATTERN AS SHOWN AND 3in. o.c. IN ALL FRAMING (STUDS, BLOCKING, AND SILL) (TYP).
- 3 MIN. LENGTH = 16in. FOR ONE STORY, MIN. LENGTH = 24in FOR USE IN THE FIRST OF TWO STORY STRUCTURES.
- 4 MIN 420lbs TIE-DOWN (EBBED INTO CONCRETE AND NAILED INTO FRAMING).
- 5 FOR A PLATE, SPACE (IF NEEDED), PANEL EDGES SHALL OCCUR OVER AND BE NAILED TO COMMON BLOCKING AND OCCUR WITHIN MAX 24in. OF WALL HEIGHT. ONE ROW OF 3in. o.c. NAILING IS REQUIRED IN EACH PANEL EDGE.

3 PORTAL FRAME HOLD-DOWN DETAIL
1/2" = 1'-0"



5 LIB DETAIL
1/2" = 1'-0"

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**IRON SPRINGS
LOT#5 BLK#1 BAYHILL SUBDIVISION
NAMPA, ID
DETAILS**

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SHEET TITLE	
DETAILS	
RHD PROJECT NUMBER:	RHD-1133
DRAWN BY: RMC	DATE: 4/18/2024
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DRAWING NUMBER: A8.0	REV: 0