



SCALE: 1/8" = 1'-0"

1. CONTRACTOR SHALL VERIFY EXISTING CONDITIONS AND EXISTING UTILITY LOCATIONS PRIOR TO EXCAVATION.
2. CONTRACTOR TO PROTECT ALL EXISTING UTILITIES, PUBLIC ROADS AND STREETS – IMPROVED OR UNIMPROVED, SIGNS AND EXISTING STRUCTURES AND REPAIR BACK TO ORIGINAL CONDITION IF DAMAGE HAS OCCURRED DURING CONSTRUCTION.
3. CONTRACTOR SHALL PROVIDE ALL DEMOLITION INCIDENTAL TO OR REQUIRED FOR NEW CONSTRUCTION WHETHER OR NOT IT IS SPECIFICALLY NOTED.
4. DURING CONSTRUCTION, CONTRACTOR SHALL MAINTAIN SAFE AND CLEARLY MARKED VEHICULAR CIRCULATION ALONG ALL STREETS, AND PROVIDE TRAFFIC CONTROL MEASURES AS REQUIRED.



HAYLEE  
LOT#2 BLK#3 RIVERS EDGE SUB.#2  
FRUITLAND, ID  
SITE PLAN

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## REVISIONS

[illegible]

## SHEET TITLE

## SITE PLAN

PROJECT NUMBER: RHD-1031

PROJECT MGR:	
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DRAWN BY:	M. MAY	DATE: 12/11/2023
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CHECKED BY: -	DATE: 12/11/2023
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CAD FILE NAME:	RHD-1037
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SCALE:  $1/4" = 1' - 0"$

DRAWING NUMBER:	REVISION:
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## GENERAL CONDITIONS

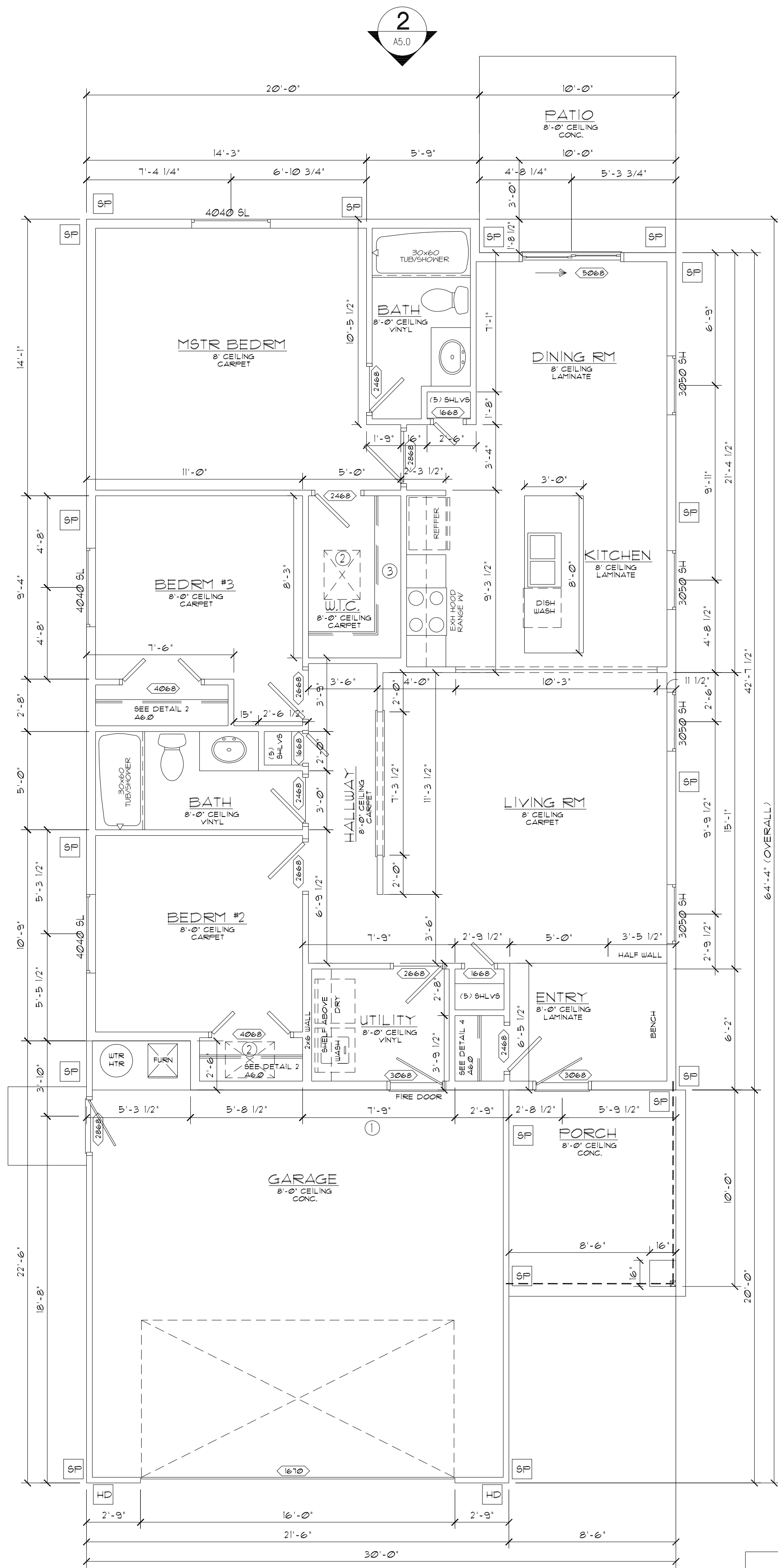
**DRAWINGS & SPECIFICATIONS**

IT IS THE INTENT OF THE DRAWINGS AND SPECIFICATIONS TO BE GUIDELINES FOR CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE INTENT AND MEANINGS IN THE WORKING DRAWINGS AND SPECIFICATIONS AND THE CONTRACTOR SHALL NOTIFY THE DESIGNER IN WRITING OF ANY ERRORS, OMISSIONS, OR UNSUITABLE DETAILING WHICH MAY CAUSE CONSTRUCTION PROBLEMS. THE DESIGNER'S LIABILITY REGARDING ERRORS AND/OR OMISSIONS WILL BE LIMITED TO THE CORRECTION OF THE ORIGINAL DRAWINGS. CONSULTANTS LIABILITY IS THE SAME.

NOTE: RISEN HOME DESIGN PLANS DO NOT CARRY AN ENGINEER'S AND/OR ARCHITECT'S STAMP(S). SOME CONDITIONS MAY ARISE DURING DESIGN, AND/OR CONSTRUCTION THAT MAY REQUIRE AN ARCHITECT'S AND/OR ENGINEER'S STAMP TO COMPLY WITH LOCAL BUILDING CODES. THE CONTRACTOR IS TO VERIFY THESE CONDITIONS AND SECURE REQUIRED STAMPS PRIOR TO CONSTRUCTION.

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## 1st FLOOR PLAN

SCALE: 1/4"=1'-0"



TABLE R402.1.1 INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT										
CLIMATE ZONE	FENESTRATION U-FACTOR	SKYLIGHT U-FACTOR	GLAZED FENESTRATION SHGC	CEILING R-VALUE	WOOD FRAM WALL R-VALUE	MASS WALL R-VALUE	FLOOR R-VALUE	BASEMENT WALL R-VALUE	SLAB R-VALUE	CRAWLSPACE WALL R-VALUE
5 AND MARINE 4	0.35	0.60	NR	38	20 OR 13+5 <sup>h</sup>	13/17	30 <sup>g</sup>	10/13	10, 2 ft	10/13

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### FLOOR PLAN NOTES:

- ALL STRUCTURAL LUMBER SIZED FOR #2 OR BETTER DOUG FIR LARCH.
- 2x EXTERIOR STUD FRAMING @ 16" o.c. w/ SINGLE BOTTOM PLATE AND DOUBLE TOP PLATE.
- 3 1/2"x8" GLB IN ALL BEARING WALL OPENINGS UNLESS OTHERWISE NOTED.
- ALLOW FOR A 22" x 30" (MIN) ATTIC AND CRAWL SPACE ACCESS.
- ALL METAL CONNECTIONS TO BE SIMPSON CO. OR BETTER.
- 5/8" TYPE 'X' GYP. BOARD @ ALL GARAGE COMMON WALLS AND CEILINGS APPLIED TO GARAGE SIDE AND ALL WALLS, BEAMS, POSTS AND OTHER STRUCTURAL MEMBERS SUPPORTING FIRE PROTECTED HORIZONTAL STRUCTURAL MEMBERS.
- DOORS BETWEEN GARAGE AND DWELLING ARE TO BE SELF CLOSING AND TIGHT FITTING SOLID WOOD DOOR 1 3/8" THICK OR A DOOR w/ A FIRE PROTECTION RATING OF NOT LESS THAN 20 MINUTES.
- 1/2" GYPSUM BOARD TO BE INSTALLED ON INSIDE WALLS OF HOUSE.
- ALL WINDOWS TO HAVE BREATHER TUBES INSTALLED.
- ROOF SYSTEM TO BE PRE-ENGINEERED MANUFACTURED ROOF TRUSSES UNLESS OTHERWISE NOTED.
- ALL CONSTRUCTION PRACTICES USED IN THE CONSTRUCTION OF THIS DWELLING SHALL BE DONE IN ACCORDANCE w/ THE 2018 WHERE APPLICABLE.
- VENT RANGE HOOD, FANS, AND DRYER TO OUTSIDE AIR. CONTRACTOR TO VERIFY ALL CONDITIONS AND DIMENSIONS PRIOR TO COMMENCING WORK.
- ALL RESCUE WINDOWS FROM SLEEPING AREAS MUST MEET FOLLOWING REQUIREMENTS:
  - SHALL HAVE A NET CLEAR OPENING OF 5.7 SQ. FT.
  - MINIMUM HEIGHT OF 24".
  - MINIMUM WIDTH OF 20".
  - FINISHED SILL HEIGHT OF NOT MORE THAN 44".
- EXTERIOR DIMENSIONS ARE TO FACE OF STUD WALL. INTERIOR DIMENSIONS ARE TO FACE OF STUD WALL.
- ALL FURNACE SWITCHES, PILOTS, AND BURNERS TO BE MINIMUM 8" ABOVE FINISHED FLOOR.

### BRACING NOTES

- HD** BRACING CONDITIONS REQUIRING HOLD-DOWNS:  
HOLD-DOWNS AS NOTED ON FOUNDATION PLAN.  
FOUNDATION BOLTS: MIN. (3) BOLTS 1/2" x 10 @  
- EMBED 1".  
SHEATHING: 1/16" APA RATED (24/0) EXTERIOR/  
ONE SIDE.  
NAILING:  
8d @ 2' o.c. ALL PANEL EDGES  
8d @ 12" o.c. IN FIELD.  
(BLOCK AND NAIL ALL PANEL EDGES.)  
FOUNDATION REINFORCEMENT:  
(1) #4 REBAR IN SHEAR CONE w/ 12" MIN.  
OVERLAP AT FRONT FACE, 30" MIN. RETURNS  
AT SIDE FACES.
- SP** TYPICAL BRACING CONDITION:  
PANEL AT EACH END AND NOT MORE THAN 25' o.c.  
1/2" APA RATED SHEATHING (24/0) EXTERIOR/ ONE  
SIDE ON MIN. 30% OF WALL LENGTH.  
NAILING:  
8d @ 6' o.c. ALL PANEL EDGES  
8d @ 12" o.c. IN FIELD.  
(BLOCK ALL PANEL EDGES.)

### SHEET NOTES:

- 22"x30" ATTIC SPACE ACCESS. COORDINATE WITH TRUSS LAYOUT.
- 22"x30" CRAWL SPACE ACCESS. COORDINATE WITH JOIST LAYOUT.

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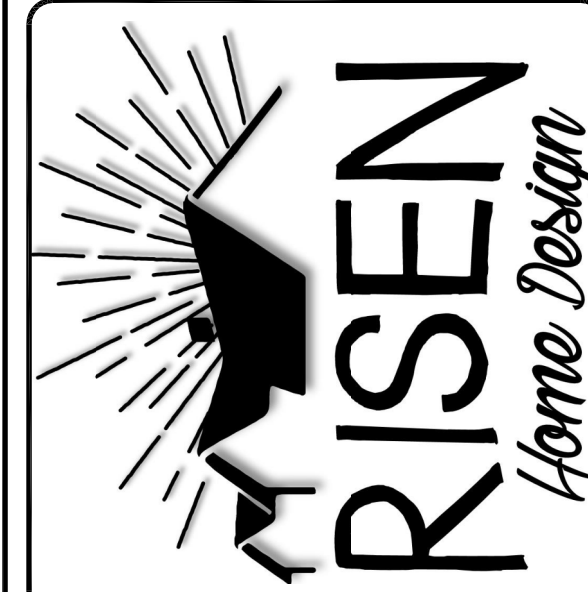
AREA SQ/FT:	
1st FLOOR=	1300
FRONT PORCH=	95
GARAGE=	443
TOTAL NON LIVING=	538

SEE 2018 IRC

- R302.1-PROVIDE UNDER STAIR PROTECTION AS REQUIRED  
R302.1-PROVIDE FIREBLOCKING AS REQUIRED  
R303.1-PROVIDE SWITCHING AND ILLUMINATION AS REQUIRED  
R305-PROVIDE SUFFICIENT CEILING HEIGHTS  
R311-MEET STAIRWAY REQUIREMENTS  
R312-MEET GUARD REQUIREMENTS

### GENERAL CONDITIONS

DRAWINGS & SPECIFICATIONS  
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HAYLEE  
LOT#2 BLK#3 RIVERS EDGE SUB.#2  
FRUITLAND, ID  
1st FLOOR PLAN

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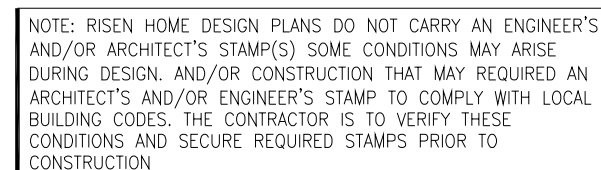
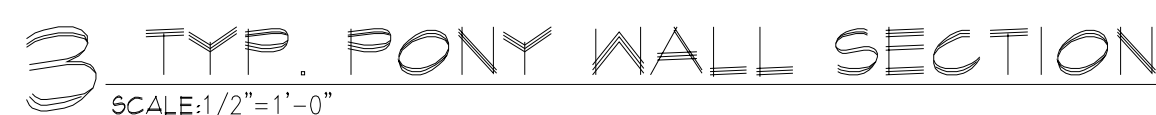
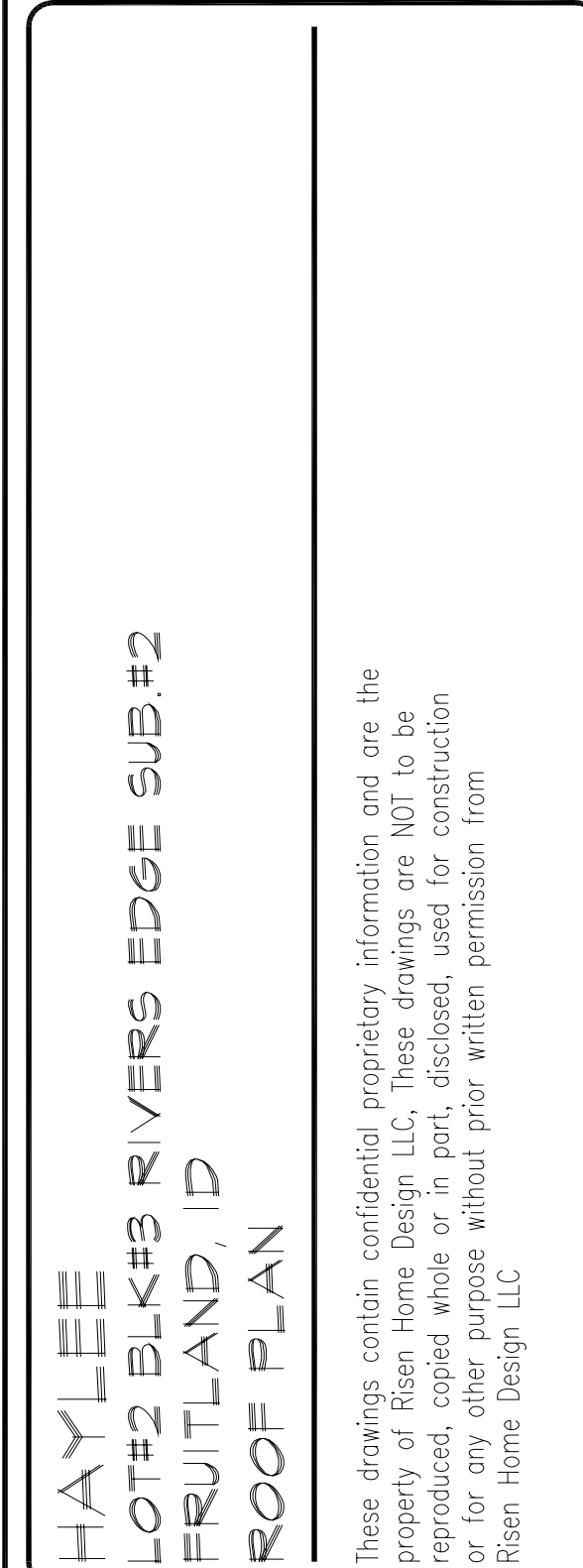
### REVISIONS

NO.	ZONE	DESCRIPTION	BY	DATE
0		ISSUE FOR CONSTRUCTION	AA	12/11/2023

### SHEET TITLE

1st FLOOR  
PLAN

PROJECT NUMBER: RHD-1031	
PROJECT MGR:	
DRAWN BY: M. MAY	DATE: 12/11/2023
CHECKED BY: -	DATE: 12/11/2023
CAD FILE NAME: RHD-1031	
SCALE: 1/4"=1'-0"	
DRAWING NUMBER: A3.0	REVISION: 0



1. TRUSS LAYOUT AND DESIGN TO BE SPECIFIED BY LOCAL TRUSS COMPANY. BUILDING CONTRACTOR TO VERIFY ALL TRUSS LOADS WITH TRUSS COMPANY BEFORE ORDERING. ALL TRUSS PROBLEMS TO BE ADDRESSED BY CONTRACTOR AND TRUSS COMPANY.
2. ALL ROOF AND SOFFIT VENTS TO BE INSTALLED ACCORDING TO U.B.C. AND APPLICABLE LOCAL CODES.
3. ALL TOTAL SPANS MAY VARY DEPENDING UPON GIRDER TRUSS PLACEMENT. (IF REQUIRED)
4. ALL WINDOW HEADERS, GARAGE DOOR HEADER AND MICRO-LAM BEAMS UNDER ROOF LOAD TO BE SPECIFIED BY LOCAL TRUSS CO.
5. TRUSS COMPANY TO CONFIRM DESIGN ROOF SNOW LOAD SHOWN WITH COUNTY REQUIREMENTS OF THIS HOUSE LOCATION.

LOCATION: (CITY) NOTUS (COUNTY) CANYON

- DESIGN ROOF SNOW LOAD: 25 lbs/sq.ft.
- DESIGN WIND SPEED: 110 mph
- DESIGN WIND EXPOSURE TYPE:
- DESIGN EARTH QUAKE ZONE: B
- FROST DEPTH: 24"

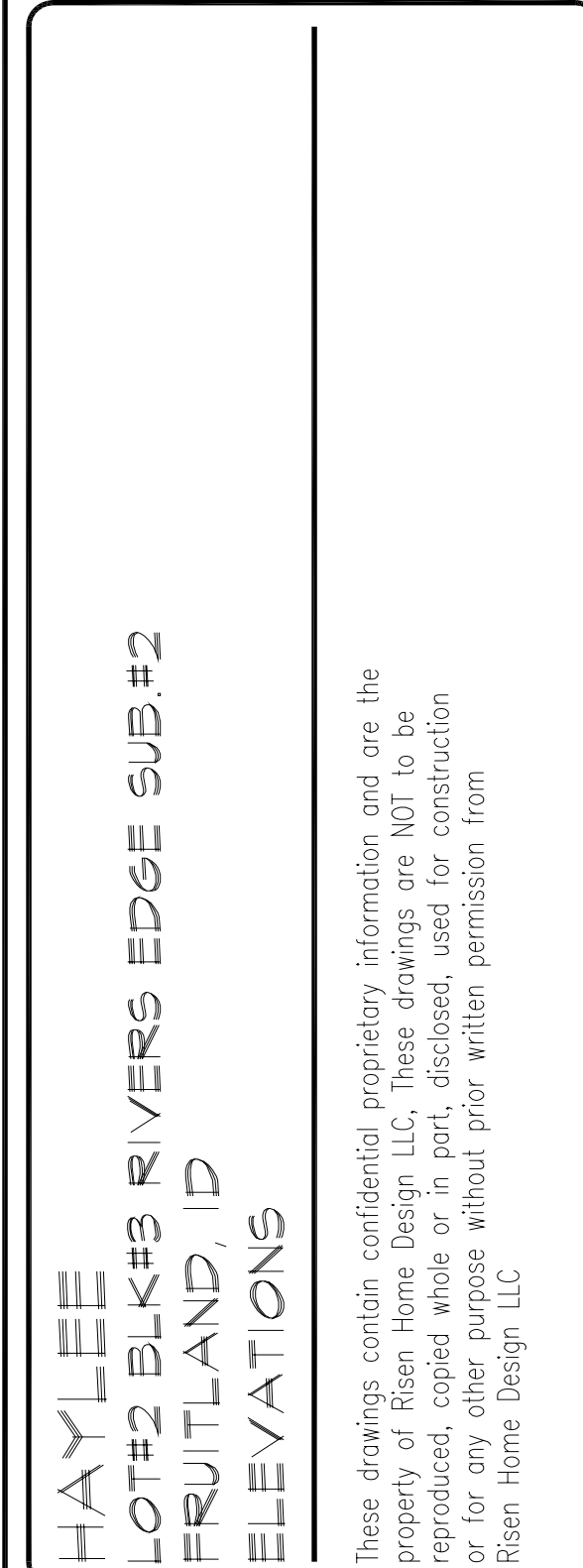
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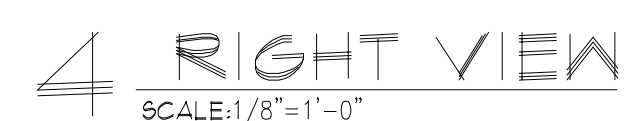
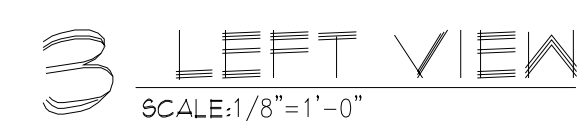
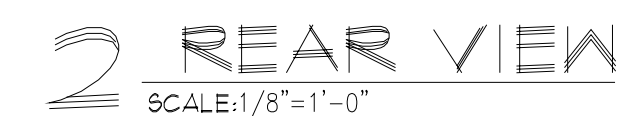
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SHEET TITLE  
ROOF PLAN

PROJECT NUMBER:		R4D-1031	
PROJECT MGR:			
DRAWN BY:		M. MAY	
DATE:		12/11/2023	
CHECKED BY:		-	
DATE:		12/11/2023	
CAD FILE NAME:		R4D-1031	
SCALE:			
1/4"=1'-0"			
DRAWING NUMBER:			REVISION:
A4.0			0



- 1 30 YR COMP. ROOFING OVER #5 BLDG. FELT
- 2 COTTAGE LAP SIDING
- 3 PATIO
- 4 16 X7' OVERHEAD DOOR
- 5 BOARD AND BATTEN
- 6 AC LOCATION
- 7 48"x48" CONC. STOOD
- 8 STONE VENEER
- 9 PORCH
- 10 12x12 COLUMN



**GENERAL CONDITIONS**

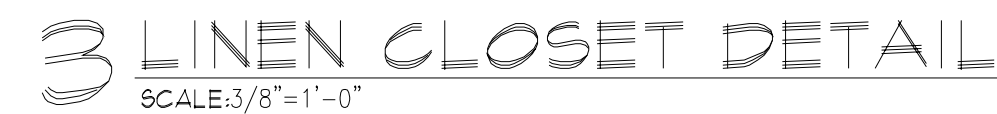
**DRAWINGS & SPECIFICATIONS**





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[illegible]

PROJECT NUMBER: R4D-1031	
PROJECT MGR:	
DRAWN BY: M. MAY	DATE: 12/11/2023
CHECKED BY: .	DATE: 12/11/2023
CAD FILE NAME: R4D-1031	
SCALE: 1/4"=1'-0"	
DRAWING NUMBER: A5.0	REVISION: 0





 LIGHT FAN COMBO  
 SUB PANEL  
 CABLE  
 PHONE

HAYLEE  
LOT#2 BLK#3 RIVERS EDGE SUB.#2  
FRUITLAND, ID  
ELECTRICAL PLAN

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SHEET TITLE	
ELECTRICAL PLAN	
PROJECT NUMBER:	R4D-1031
PROJECT MGR:	
DRAWN BY: M. MAY	DATE: 12/11/2023
CHECKED BY: -	DATE: 12/11/2023
CAD FILE NAME:	R4D-1031
SCALE: 1/4"=1'-0"	
DRAWING NUMBER:	REVISION:
A6.0	0