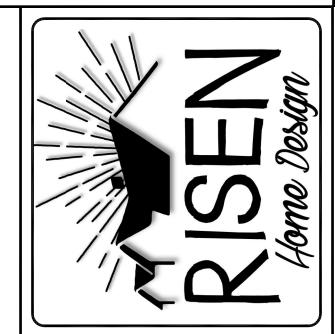
NW 21st STREET DRIVEWAY CONC. NEW HOUSE × 8'-0" — SETBACK TO SETBACK PROPERTY LINE 45.53' SITEPLAN

GENERAL NOTES

- 1. CONTRACTOR SHALL VERIFY EXISTING CONDITIONS AND EXISTING UTILITY LOCATIONS PRIOR TO EXCAVATION.
- 2. CONTRACTOR TO PROTECT ALL EXISTING UTILITIES, PUBLIC ROADS AND STREETS IMPROVED OR UNIMPROVED, SIGNS AND EXISTING STRUCTURES AND REPAIR BACK TO ORIGINAL CONDITION IF DAMAGE HAS OCCURRED DURING CONSTRUCTION.
- 3. CONTRACTOR SHALL PROVIDE ALL DEMOLITION INCIDENTAL TO OR REQUIRED FOR NEW CONSTRUCTION WHETHER OR NOT IT IS SPECIFICALLY NOTED.
- 4. DURING CONSTRUCTION, CONTRACTOR SHALL MAINTAIN SAFE AND CLEARLY MARKED VEHICULAR CIRCULATION ALONG ALL STREETS, AND PROVIDE TRAFFIC CONTROL MEASURES AS REQUIRED.



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SHEET TITLE

SITE PLAN

PROJECT NUMBER: RHD-1031
PROJECT MGR:
DRAWN BY: M, MAY DATE: 12/11/2023

DATE: 12/11/2*0*23

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RHD-1037

CAD FILE NAME:

SCALE: 1/4"=1'-0"

DRAWING NUMBER:

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CONSULTANTS LIABILITY IS THE SAME.

DRAWINGS & SPECIFICATIONS

CONSTRUCTION

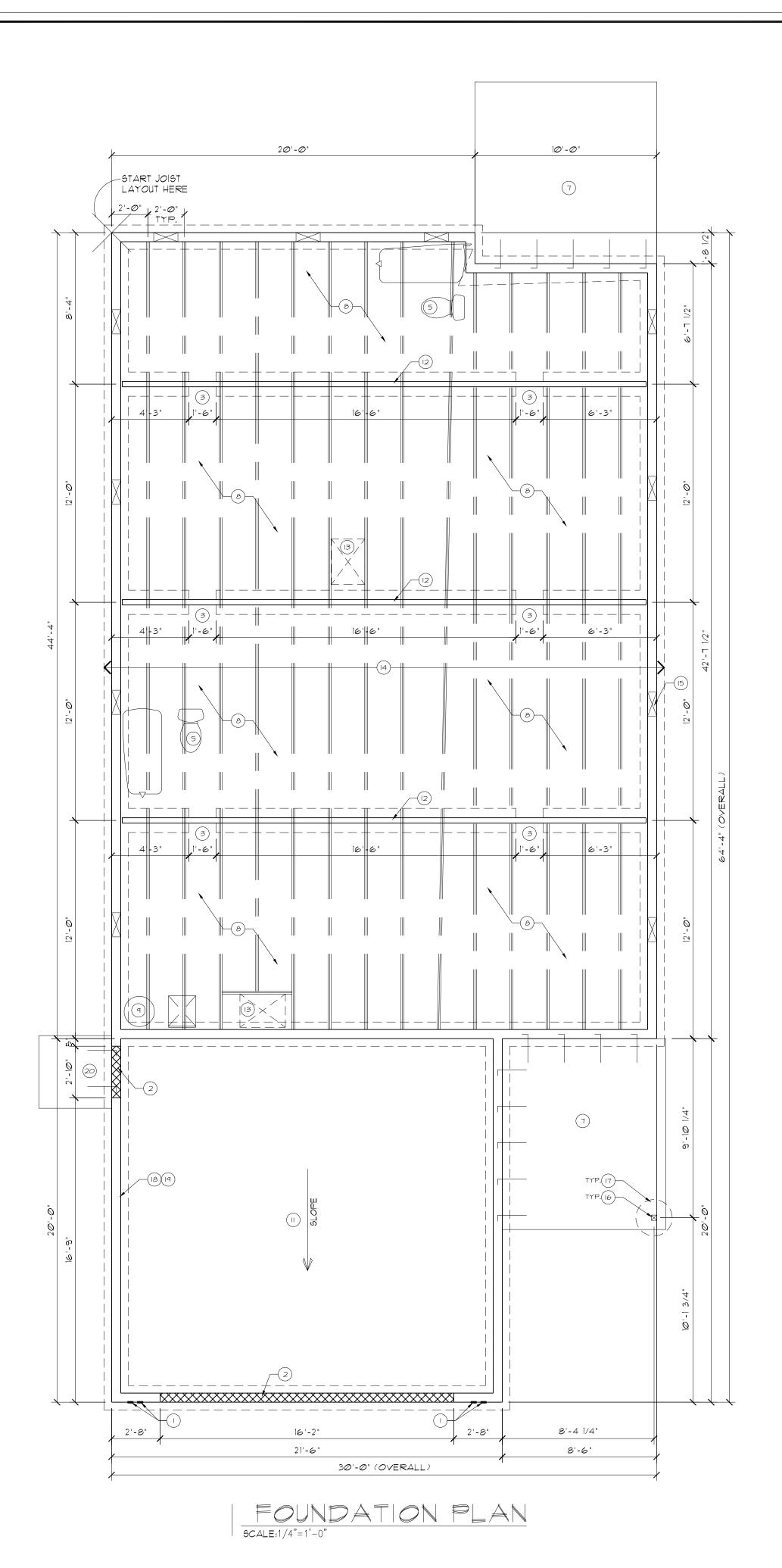
GENERAL CONDITIONS

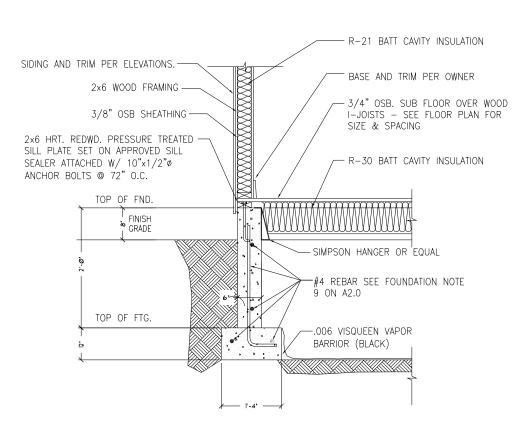
IT IS THE INTENT OF THE DRAWINGS AND SPECIFICATIONS TO BE GUIDELINES FOR CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING ANY QUESTIONS AND MEANINGS IN THE WORKING

THE DESIGNER IN WRITING OF ANY ERRORS, OMISSIONS, OR

DRAWINGS AND SPECIFICATIONS AND THE CONTRACTOR SHALL NOTIFY

UNSUITABLE DETAILING WHICH MAY CAUSE CONSTRUCTION PROBLEMS. THE DESIGNERS LIABILITY REGARDING ERRORS AND/OR OMISSIONS WILL BE LIMITED TO THE CORRECTION OF THE ORIGINAL DRAWINGS.





EOUNDATION SECTION

SCALE:1/2"=1'-0"

SHEET NOTES:

- I. METAL WALL HOLD DOWN STRAP (SIMPSON STHD14) W/ ONE *4 REBAR IN SHEAR CONE OF STEM WALL, SEE BRACING NOTES ON FLOOR PLAN, SEE FLOOR PLAN TO COORDINATE EXACT LOCATION OF WINDOWS AND DOORS.
- 2. FOOTING AND FOUNDATION WALL TO RUN CONTINUOUS UNDER GARAGE DOORS. DEPRESS FOR SLAB TO RUN ABOVE W/ (1) NO. 4 BAR CONT.
- 3. 18" CRAWL WAY ACCESS RUN TOP PLATE CONTINUOUS
- 4. WALL CHANGE
- 5. TOILET LOCATION SEE FLOOR PLAN
- 6. CONCRETE DRIVEWAY SEE SITE PLAN
- 1. PATIO/ PORCH CONSTRUCTION:
 4" CONCRETE SLAB OVER 4" GRAVEL OVER
 COMPACTED EARTH- SLOPE AWAY FROM
 FOUNDATION MIN. 1/8" PER FOOT, TIE TO STEM
 WALL W/ #4 DOWELS @ 24" O.C.
- 8. 006 MIL VAPOR BARRIER © CRAWL SPACE (BLACK)
- 9. WATER HEATER LOCATION
- 10. FURNACE LOCATION
- II. GARAGE CONCRETE SLAB CONSTRUCTION: 4" CONCRETE SLAB OVER 4" GRAVEL OVER COMPACTED EARTH. SLOPE MIN. 2" TO DOOR
- 12, PONY WALL SEE DETAILS
- 13. 22"x30" CRAWL SPACE ACCESS
- 14. $\frac{3}{4}$ " FLOOR SHEATHING OVER $9\frac{1}{2}$ " TJI FLOOR JOISTS @ 19.2" O.C. GLUE AND NAIL SHEETING
- 15. 16"x8" SCREENED FOUNDATION VENT
- 16. SIMPSON POST BASE OR EQUAL
- 17. $24"\phi \times 24"$ DEEP CONCRETE FOOTING
- 18. ALL FOUNDATIONS, FOOTINGS, AND BALCONY/
 ROOF SUPPORT PIERS TO MAINTAIN A MIN.
 DEPTH OF 24" BELOW FINISH GRADE ELEVATION
 FOR FROST PROTECTION.
- 19. 6"x24" CONCRETE STEM WALL OVER 16"x8" CONCRETE FOOTING.
- 20. 48"x48" CONC. STOOP

FOUNDATION NOTES:

- 1. ASSUMED SOIL BEARING PRESSURE OF 1500 P.S.F. 2. ALL CONC. TO BEAR ON FIRM, NATURAL, UNDISTURBED SOIL. 3. CONCRETE COMPRESSIVE STRENGTH AT 28 DAYS TO BE:
- WALLS NOT EXPOSED TO WEATHER 2500 PSI
 WALLS EXPOSED TO WEATHER 3000 PSI
 PORCHES, STEPS AND GARAGE SLAB 3500 PSI
 4. EXTEND FOOTINGS BELOW FROST LINE, (24" MIN. INTO NATURAL
- SOIL FOR 1 STORY AND 2 STORY CONSTRUCTION).

 5. THE GRADE AWAY FROM THE FOUNDATION WALLS TO FALL A MIN.

 OF 6" WITHIN THE FIRST 10 FEET.
- 6. 1/2"DIA, X 10" ANCHOR BOLTS TO BE USED @ 6'-0" O.C. & 7" MIN.
 INTO CONC. & 12" MAX. FROM ANY CORNER W/ 2" DIA, WASHERS
 & 1/2"DIA, NUTS (CONC STEM WALLS).
- 1. 18" MIN. CRAWL SPACE W/6 MIL. BLACK VAPOR BARRIOR THRU-OUT. LAP JOINTS 12" MIN., EXTEND UP STEM WALL & STAPLE TO MUD SILL.
- 8. SUGGESTED REBAR PLACEMENT PLACEMENT TO BE: 2- *4 HORZ.
 REBAR IN FOOTING AND VERTICAL *4 REBAR @ 6' O.C. IN ALL
 2' EXTERIOR CONCRETE STEM WALLS, ACTUAL REBAR INSTALLATION
 TO FOLLOW LOCAL REQUIREMENTS.
- 9. SUGGESTED REBAR PLACEMENT PLACEMENT TO BE: 2- *4 HORZ.
 REBAR IN FOOTING AND 2- *4 HORZ. REBAR IN STEM WALL EQUALLY
 SPACED AND VERTICAL *4 REBAR @ 4' O.C. IN ALL 2' EXTERIOR CONC.
 WALLS. ACTUAL REBAR INSTALLATION TO FOLLOW LOCAL REQUIREMENTS.

10. BASEMENT CONCRETE WALLS TO FOLLOW LOCAL REQUIREMENTS AND

- OR PER APPROVED STRUCTURAL ENGINEERED DRAWINGS.

 11. ALL CONCRETE PORCHES TO BE DOWELED TO EXTERIOR STEM WALL WITH #4 REBAR @ 2' O.C.
- 12. CONTRACTOR TO VERIFY ALL MEASUREMENTS AND SQUARENESS OF CORNERS PRIOR TO POURING AND AFTER COMPLETION OF FINAL WORK, ALL FINISHED WORK (TOP OF STEM WALLS, TOP OF FOOTINGS, SLABS, PORCHES) TO BE FINISHED AS LEVEL AS POSSIBLE.
 13. ADD SIMPSON HPAHD22 TIE DOWN STRAP TO ALL GARAGE WING WALLS AND
- ANY FOUNDATION WALL LESS THAN 2' LONG, IF REQD. PER LOCAL BUILDING DEPT.

GENERAL CONDITIONS

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SHEET TITLE

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PROJECT NUMBER: RHD-1031

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DRAWN BY: M. MAY DATE: 12/11/2023

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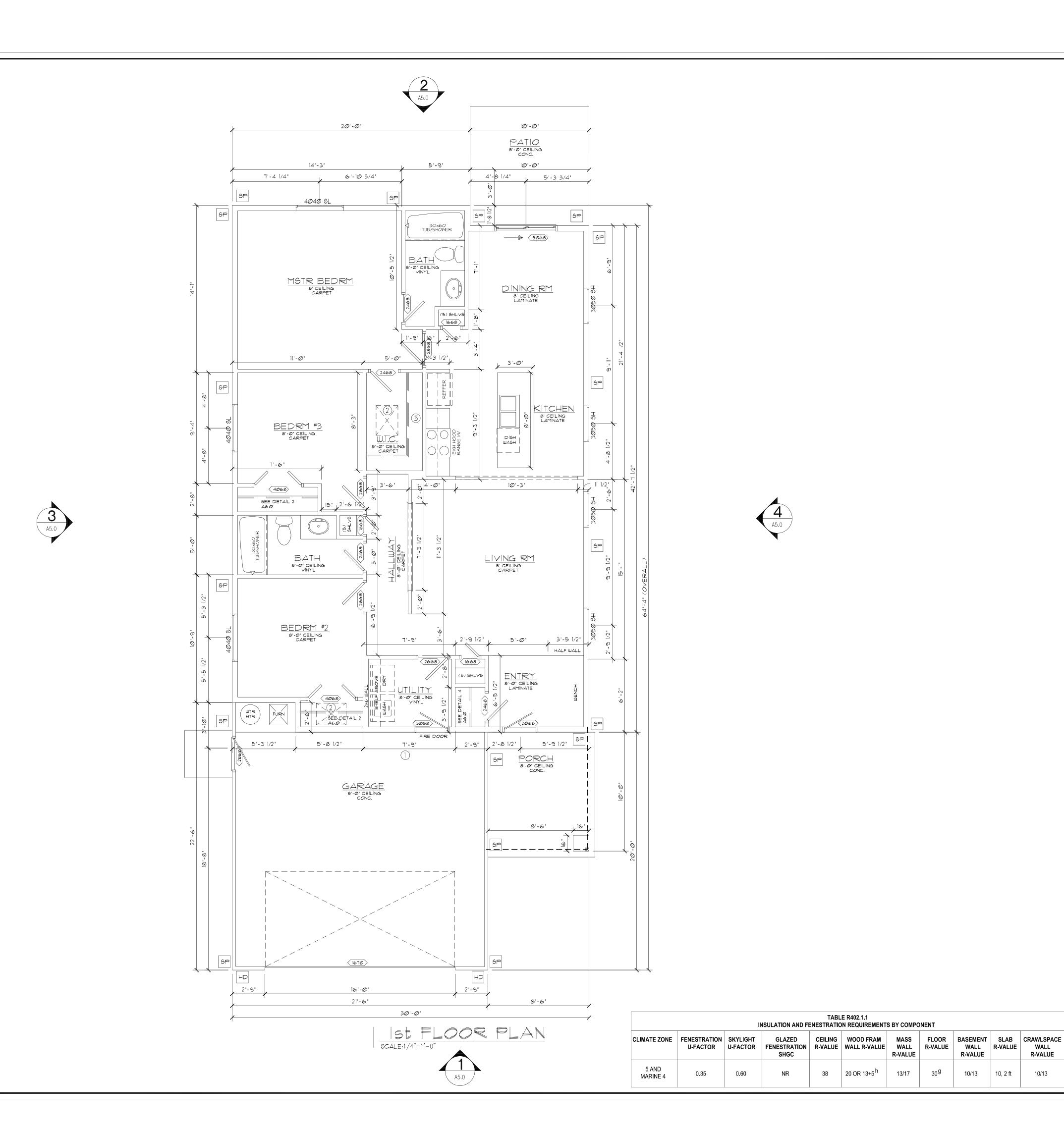
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- 1. ALL STRUCTURAL LUMBER SIDED FOR #2 OR BETTER DOUG FIR LARCH.
- 2. 2x EXTERIOR STUD FRAMING @ 16" O.C. W/ SINGLE BOTTOM
- PLATE AND DOUBLE TOP PLATE. 3, 3 1/2"x9" GLB IN ALL BEARING WALL OPENINGS UNLESS
- OTHERWISE NOTED.
- 4. ALLOW FOR A 22" \times 30" (MIN.) ATTIC AND CRAWL SPACE ACCESS.
- 5. ALL METAL CONNECTIONS TO BE SIMPSON CO. OR BETTER.
- 6.5/8" TYPE 'X' GYP, BOARD @ ALL GARAGE COMMON WALLS AND CEILINGS APPLIED TO GARAGE SIDE AND ALL WALLS, BEAMS, POSTS AND OTHER STRUCTURAL MEMBERS SUPPORTING FIRE PROTECTED HORIZONTAL STRUCTURAL MEMBERS.
- 7, DOORS BETWEEN GARAGE AND DWELLING ARE TO BE SELF CLOSING AND TIGHT FITTING SOLID WOOD DOOR 1 3/8" THICK OR A DOOR W/ A FIRE PROTECTION RATING OF NOT LESS THAN 20 MINUTES.
- 8, 1/2" GYPSUM BOARD TO BE INSTALLED ON INSIDE WALLS OF HOUSE.
- 9. ALL WINDOWS TO HAVE BREATHER TUBES INSTALLED.
- 10 ROOF SYSTEM TO BE PRE-ENGINEERED MANUFACTURED ROOF TRUSSES UNLESS OTHERWISE NOTED.
- 11. ALL CONSTRUCTION PRACTICES USED IN THE CONSTRUCTION OF THIS DWELLING SHALL BE DONE IN ACCORDANCE W/ THE 2018 WHERE APPLICABLE.
- 12. YENT RANGE HOOD, FANS, AND DRYER TO OUTSIDE AIR. CONTRACTOR TO VERIFY ALL CONDITIONS AND DIMENSIONS PRIOR TO COMMENCING WORK.
- 13. ALL RESCUE WINDOWS FROM SLEEPING AREAS MUST MEET FOLLOWING REQUIREMENTS:
- 1. SHALL HAVE A NET CLEAR OPENING OF 5.7 SQ. FT. 2. MINIMUM HEIGHT OF 24".
- 3. MINIMUM WIDTH OF 20". 4. FINISHED SILL HEIGHT OF NOT MORE THAN 44".
- 14, EXTERIOR DIMENSIONS ARE TO FACE OF STUD WALL. INTERIOR DIMENSIONS ARE TO FACE OF STUD WALL.
- 15. ALL FURNACE SWITCHES, PILOTS, AND BURNERS TO BE MINIMUM 18" ABOVE FİNISHED FLOOR.

BRACING NOTES

HD BRACING CONDITIONS REQUIRING HOLDOWNS: HOLDOWNS AS NOTED ON FOUNDATION PLAN. FOUNDATION BOLTS: MIN. (3) BOLTS 1/2" \times 10 \emptyset

SHEATHING: 1/16" APA RATED (24/0)(EXTERIOR)

ONE SIDE. NAILING: 8d @ 2" o.c. ALL PANEL EDGES 8d @ 12" o.c. IN FIELD. (BLOCK AND NAIL ALL PANEL EDGES.) FOUNDATION REINFORCEMENT: (1) #4 REBAR IN SHEAR CONE w/ 12" MIN. OVERLAP AT FRONT FACE, 30" MIN. RETURNS AT SIDE FACES.

SP TYPICAL BRACING CONDITION: PANEL AT EACH END AND NOT MORE THAN 25' o.c. 1/2" APA RATED SHEATHING (24/0)(EXTERIOR) ONE SIDE ON MIN. 30% OF WALL LENGTH.

<u>NAILING:</u> 8d @ 6" o.c. ALL PANEL EDGES 8d @ 12" o.c. IN FIELD. (BLOCK ALL PANEL EDGES.)

- (1) 22"X30" ATTIC SPACE ACCESS. COORDINATE
- WITH TRUSS LAYOUT.
- 2) 22"X30" CRAWL SPACE ACCESS. COORDINATE WITH JOIST LAYOUT.

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AREA SQ/FT:	
1st FLOOR=	1300
FRONT PORCH= GARAGE=	95 443

SEE 2018 IRC R302.7-PROVIDE UNDER STAIR PROTECTION AS REQUIRED R302.11-PROVIDE FIREBLOCKING AS REQUIRED R303.7-PROVIDE SWITCHING AND ILLUMINATION AS REQUIRED R305-PROVIDE SUFFICIENT CEILING HEIGHTS R311.7-MEET STAIRWAY REQUIREMENTS

R312-MEET GUARD REQUIREMENTS

GENERAL CONDITIONS

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R-VALUE WALL R-VALUE

R-VALUE

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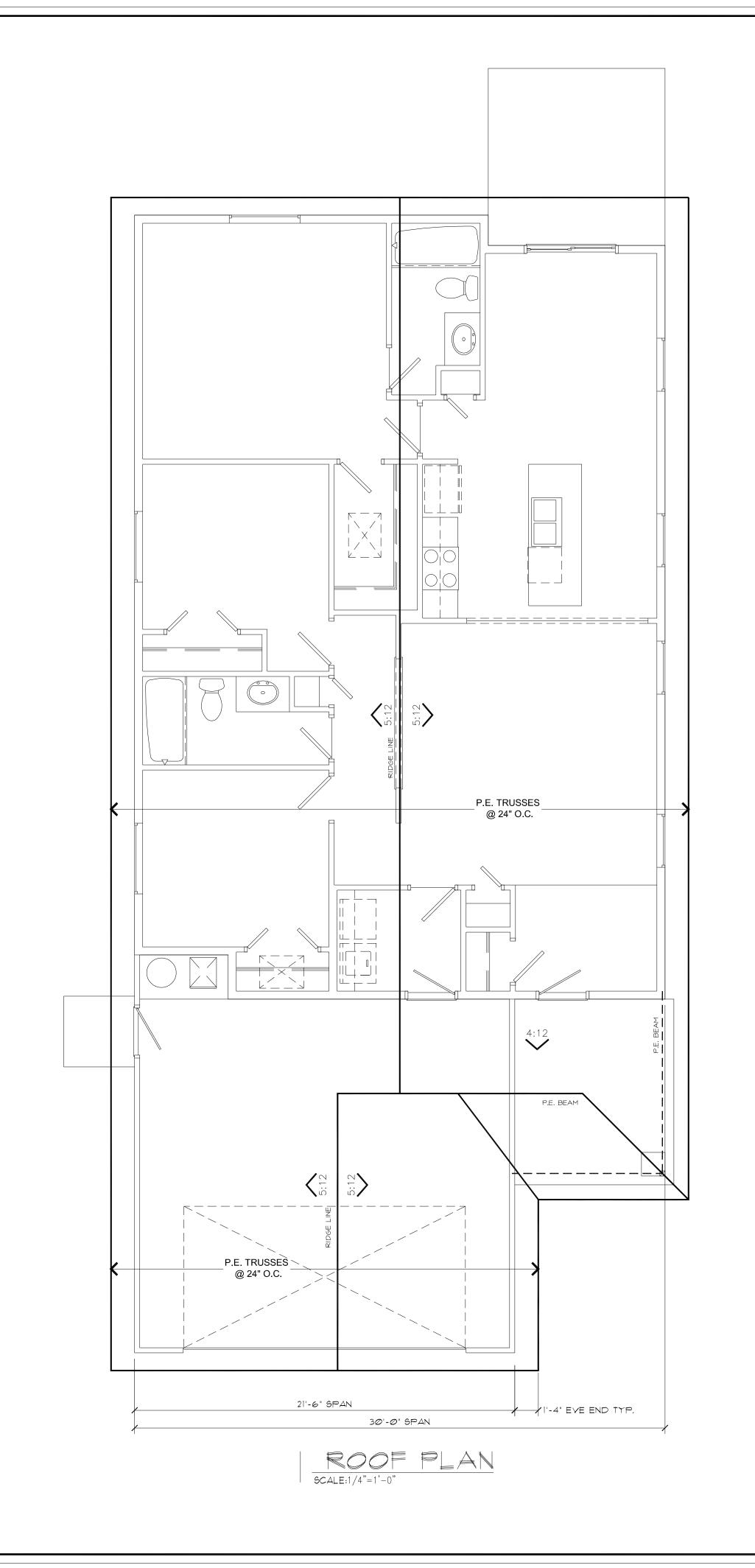
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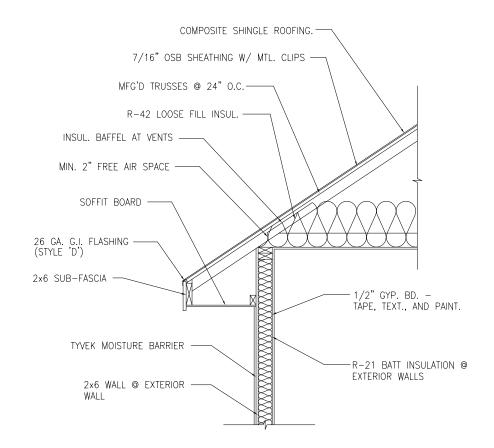
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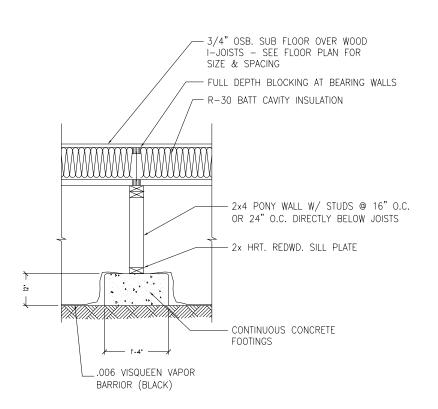
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INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT

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SCALE:1/2"=1'-0"

ROOF NOTES:

- 1. TRUSS LAYOUT AND DESIGN TO BE SPECIFIED BY LOCAL TRUSS COMPANY, BUILDING CONTRACTOR TO VERIFY ALL TRUSS LAYOUTS WITH TRUSS COMPANY BEFORE ORDERING. ALL TRUSS PROBLEMS TO BE ADDRESSED BY CONTRACTOR AND TRUSS COMPANY. 2. ALL ROOF AND SOFFIT VENTS TO BE INSTALLED ACCORDING TO
- U.B.C. AND APPLICABLE LOCAL CODES. 3. ALL TOTAL SPANS MAY VARY DEPENDING UPON GIRDER TRUSS

WITH COUNTY REQUIREMENTS OF THIS HOUSE LOCATION.

- PLACEMENT, (IF REQUIRED)
- 4. ALL WINDOW HEADERS, GARAGE DOOR HEADER AND MICRO-LAM BEAMS UNDER ROOF LOAD TO BE SPECIFIED BY LOCAL TRUSS CO. 5. TRUSS COMPANY TO CONFIRM DESIGN ROOF SNOW LOAD SHOWN

DESIGN CRITERIA

- <u>LOCATION:</u> (CITY) <u>NOTUS</u> (COUNTY) <u>CANYON</u>
- DESIGN ROOF SNOW LOAD: 25 lbs/sq.ft.
- DESIGN WIND SPEED: 110 mph
- DESIGN WIND EXPOSURE TYPE:____ • DESIGN EARTH QUAKE ZONE: <u>B</u>
- FROST DEPTH: <u>24"</u>

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DURING DESIGN. AND/OR CONSTRUCTION THAT MAY REQUIRED AN

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GENERAL CONDITIONS

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SHEET NOTES:

1) 30 YR COMP. ROOFING OVER #15 BLDG. FELT 2) COTTAGE LAP SIDING

(3) PATIO

(3) PATIO (4) 16'X1' OVERHEAD DOOR

5 BOARD AND BATTEN

6 AC LOCATION

1 48"x48" CONC. STOOP 8 STONE VENEER

9 PORCH

(10) 12×12 COLUMN

RISEN Home Design

HAYLEE LOT#2 BLK#3 RIVERS EDGE SUB.#2 FRUITLAND, ID ELEVATIONS	These drawings contain confidential proprietary information and are the property of Risen Home Design LLC, These drawings are NOT to be reproduced, copied whole or in part, disclosed, used for construction or for any other purpose without prior written permission from Risen Home Design LLC
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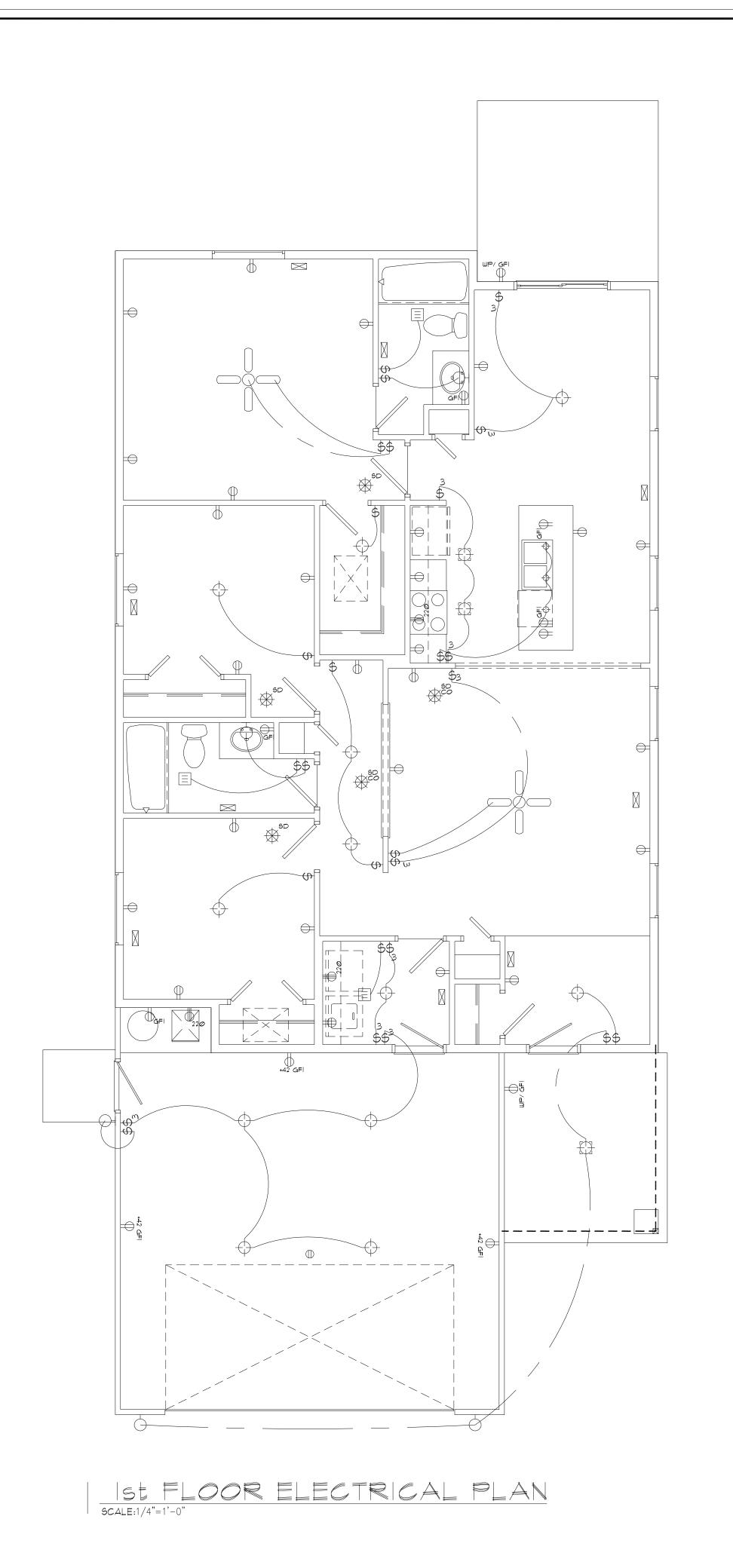
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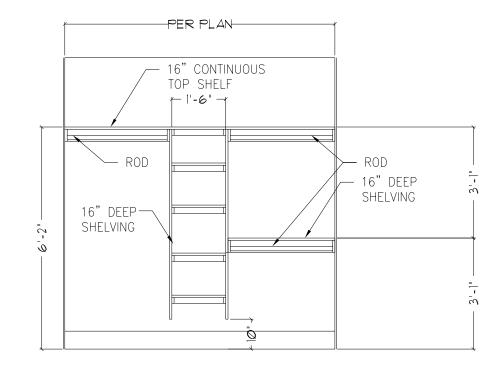
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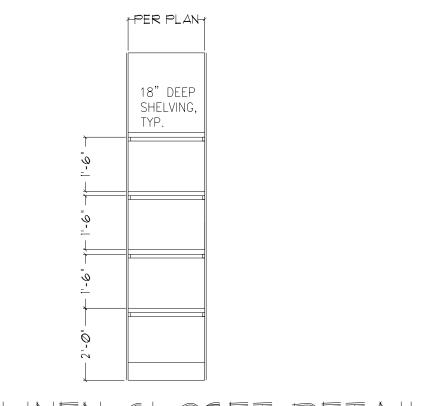
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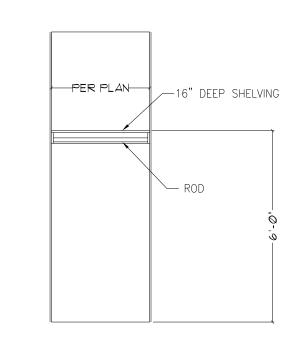


DEDRM CLOSET DETAIL

SCALE:3/8"=1'-0"



SCALE.3/8"=1'-0"



MECHANICAL NOTES:

1. ALL FIXTURE LOCATIONS ARE APPROXIMATE, CONFIRM WITH H.V.A.C. CONTRACTOR PRIOR TO INSTALLATION.

2. ACTUAL SIZING OF DUCTS, FURNACE, AND AIR CONDITIONING UNIT TO BE DETERMINED AND PERFORMANCE GUARANTEED BY H.V.A.C.

CONTRACTOR. ACTUAL INSTALLATION TO VARY ACCORDING TO H.V.A.C. CONTRACTORS PREFERENCE. 4. DUCT DRYER VENT TO OUTSIDE.

HVAC LEGEND

4"x10" HEAT REGISTER

| RA | 24"x24" RA Clg.

(AC) AIR CONDITIONER

SHEET NOTE:

1. CONTRACTOR TO VERIFY ALL ELECTRICAL WITH OWNER PRIOR TO CONSTRUCTION.

2. ALL HEATER VENTS TO BE PLACED IN THE CIELING.

ELECTRICAL NOTES:

1. ALL FIXTURES SHOWN IN APPROXIMATE LOCATIONS, ELECTRICAL CONTRACTOR TO INSTALL ACCORDING TO N.E.C. AND LOCAL CODES.

2. SMOKE DETECTORS SHALL BE WIRED TO UNSWITCH POWER CIRCUIT, CONTAIN BATTERY BACK-UP & EMIT A SIGNAL WHEN BATTERYS ARE LOW. ALARM SHALL BE AUDIBLE THROUGHOUT THE AREA IN WHICH THE DETECTOR IS LOCATED.

3. VENT ALL FANS TO OUTSIDE AIR W/ BACKDRAFT DAMPER. 4. ELECTRICAL MAINS TO BE COORDINATED W/ LOCAL POWER CO. 5. ALL BATHROOM, KITCHEN, GARAGE AND OUTSIDE OUTLETS TO

LIGHT FAN COMBO

SUB PANEL

CABLE

A PHONE

6. ALL PHONE JACKS, TV OUTLETS AND CEILING FAN LOCATIONS TO BE DETERMINED BY OWNER AT TIME OF CONSTRUCTION. 7. CONTRACTOR TO INSTALL ENERGY EFFICIENT LIGHT BULBS IN ALL LIGHT FIXTURES.

8. ALL SMOKE DETECTORS SHALL ALSO IN ALL LIGHT FIXTURES.

ELECTRICAL LEGEND

DUPLEX RECEPTACLE

⇒ 240-∨OLT RECEPTACLE

CEILING RECEPTACLE

GEC GFC DUPLEX RECEPTACLE SWITCHED RECEPTACLE

\$ SINGLE POLE LIGHT SWITCH

\$, THREE-WAY SWITCH

FOUR-WAY SWITCH

SURFACE-MOUNTED LIGHT FIXTURE

RECESSED LIGHT FIXTURE

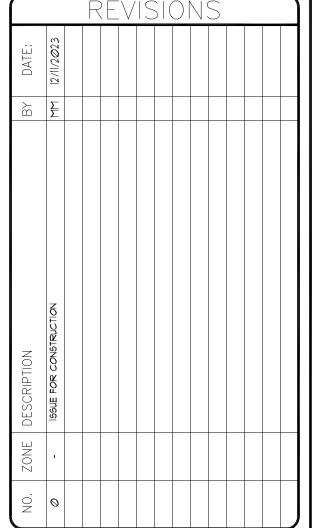
MOTION ACTIVATED LIGHT FIXTURE WALL MOUNTED LIGHT FIXTURE

FLUORESCENT LIGHT FIXTURE (L) WEATHERPROOF LIGHT FIXTURE

DOOR BELL

SMOKE DETECTOR

EXHAUST FAN TRACK LIGHTING



ELECTRICAL

PROJECT NUMBER: RHD-1037 PROJECT MGR: Drawn by: M. May | Date: 12/11/2*0*23 CHECKED BY: DATE: 12/11/2**0**23 CAD FILE NAME: RHD-1037 SCALE: 1/4"=1'-0"

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